



City of Tarpon Springs, Florida

Board of Adjustment
324 East Pine Street
Tarpon Spring, Florida 34689
(727) 938-3711

<http://www.ctsfl.us/agenda.htm>

**BOARD OF ADJUSTMENT AGENDA
WEDNESDAY, JUNE 25, 2025
6:30 PM - CITY HALL AUDITORIUM**

1. CALL TO ORDER

2. ROLL CALL

3. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS

4. APPLICATION(S)

a. **#25-37 - Buffalino**

Variance to reduce the required separation distance between a pool's water's edge and a screen enclosure for the purpose of constructing a new pool screen enclosure over an existing pool.

Location: 1218 Windy Bay Shoal

b. **#25-39 - Fedorisin**

Variance to reduce the required rear yard setback for the purpose of enclosing an existing multi-story deck.

Location: 1727 Grand Central Drive

5. APPROVAL OF MINUTES

- a. April 23, 2025 Minutes for Approval

6. BOARD AND STAFF COMMENTS

7. ADJOURNMENT

If a person decides to appeal any decision made by the Board of Adjustment with respect to any matter considered at this meeting or hearing, they will need a record of the proceedings and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. You are invited to attend the meeting to express your views or to present facts in regard to the case. Written comments may be addressed to the Planning & Zoning Department, P.O. Box 5004, Tarpon Springs, Florida, 34688-5004, and will become part of the records. All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611 or by email to pmcneese@ctsfl.us. Said hearing may be continued from time-to-time pending adjournment. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611 or email a written request to akeen@ctsfl.us.



CITY OF TARPON SPRINGS
BOARD OF ADJUSTMENT
[JUNE 25, 2025]

STAFF REPORT

Application No. / Project Title: #25-37 (Buffalino)
Staff: Allie Keen, AICP, Principal Planner
Applicant / Owner: Aaron DeShazer (Coastal Aluminum) / Rosemarie Buffalino
Property Size: +/- 0.17 acres
Current Zoning: RM (Residential Multifamily)
Current Land Use: RM (Residential Medium) & RFO (Resort Facilities Overlay)
Location / Parcel ID: 1218 Windy Bay Shaol / 02-27-15-89894-000-0380

BACKGROUND SUMMARY:

The applicant is requesting to reduce the minimum required separation distance between a pool and pool screen enclosure to 1.5 feet, 1.5 feet less than required for the purpose of constructing a new screen enclosure over an existing pool.

PRELIMINARY STAFF RECOMMENDATION:

Due to this provision being under review and the potential removal or amendment to this section of the Land Development Code, staff has not provided a formal recommendation for this application. In lieu of the recommendation, staff has provided background information and analysis relevant to the request to assist the Board in their decision.

LAND DEVELOPMENT CODE CONSIDERATIONS:

District Intent: The Residential Multifamily District is established to provide for multifamily dwellings at a mix of densities, limited by the parcel’s designation on the City’s Future Land Use Map Series, and allow for other uses generally compatible with the character and intensity of multifamily dwellings.

Development Standards: Per Land Development Code (LDC) Section 36.02(C), a minimum 3-foot separation is required between a pool’s water’s edge and a pool screen enclosure.

CURRENT PROPERTY INFORMATION:

Use of Property:	Single Family Residential
Site Features:	Single-family home, pool, driveway, fence, and landscaping.
Vehicle Access:	This property gains access from Windy Bay Shl.



SURROUNDING ZONING & LAND USE:

	Zoning:	Land Use:
North:	RPD (Residential Planned Development)	RL (Residential Low)
South:	RM (Residential Multifamily)	RM (Residential Medium) & RFO (Resort Facilities Overlay)
East:	RM (Residential Multifamily)	RM (Residential Medium) & RFO (Resort Facilities Overlay)
West:	RM (Residential Multifamily)	RM (Residential Medium) & RFO (Resort Facilities Overlay)

PLANNING CONSIDERATIONS:

When considering this application, the following general site conditions, planning concepts, and other facts should be noted:

1. The applicant is proposing to construct a new pool screen enclosure over the existing pool on the subject property.
2. Per LDC Section 36.02(C), a pool screen enclosure is required to have a minimum rear setback of 5 feet (and outside any easement), plus a minimum 3-foot separation from the water’s edge. There is a 10-foot-wide fence, wall and drainage easement along the rear of the subject property. Therefore, a pool, measured from water’s edge, must be at least 13 feet from the rear property line to comply. The existing pool is setback approximately 11.5 feet from the rear property line, therefore, the allowable separation distance is only 1.5 feet.
3. According to the provided site plan, the enclosure will comply with the minimum setback and separation distance from the side property lines. Additionally, a 4-foot separation is provided between the pool and home.
4. The rear yard is approximately 26.6 feet deep. The 10-foot easement along the rear property line limits the yard space for a pool and screen enclosure. The proposed enclosure dimensions are 16.5 feet by 40 feet.
5. The existing pool was built in 2020 (Permit #20-649). According to the applicant, at the time the pool was constructed they did not anticipate the mosquitos being an issue therefore a screen enclosure was not originally proposed.
6. There is an existing 8-foot-tall fence along the rear property line of the subject property. The rear yard of the subject property is adjacent to Anclote Road with the rear yards of residential homes within the Riverbend subdivision on the other side of the street.
7. The Board of Commissioners has instructed the Planning Department to review the Land Development Code for potential interim updates, in advance of a full Code review in the next couple of years following the recent adoption of the updated Comprehensive Plan. The pool screen enclosure separation distance is one of the items that has been flagged for review. Over the years, the Planning Department has received feedback from pool contractors that Tarpon Springs is one of the only jurisdictions with this requirement. This has also been a common issue, resulting in some variance requests, for residents wishing to add a screen enclosure for existing pools and proposed pools on lots with limiting circumstances. After polling other Pinellas County jurisdictions, Tarpon Springs and the City of Seminole were the only ones to require separation distance, however, Seminole only requires 1 foot. *(It is noted that only Clearwater, Safety Harbor, Seminole, and Dunedin provided responses.)* At this time, staff has not completed their review and does not have a recommendation as to whether this provision should be removed or amended.



REVIEW STANDARDS / PROVISIONAL FINDINGS OF FACT:

Section 215.02(B) of the Land Development Code provides that the Board of Adjustment shall grant no variance unless certain standards are met and proven by competent substantial evidence. These standards, along with planning staff's provisional findings of fact are provided below:

- 1. The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.**

Provisional Findings: The need for the variance is due to the relatively small rear yard that is only 26.6 feet deep that also includes a 10-foot-wide easement. The code prevents screen enclosures from being constructed within easements, therefore due to the existing layout of the pool, the maximum separation distance possible is only 1.5 feet.

- 2. The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant.**

Provisional Findings: The pool was originally constructed in 2020 by the current property owner. The separation distance requirements were in place at that time. Although a screen enclosure was not originally proposed, accommodating the separation distance in the design of the pool layout would have allowed for potential future construction of a pool screen enclosure if desired. However, the small rear yard and 10-foot easement further restrict the property from complying with the requirements of the code. If there were no easement on this property, the applicant would be able to easily meet the minimum requirements.

- 3. Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant of reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property.**

Provisional Findings: Due to the location and layout of the pool, the 10-foot easement, and the minimum separation and setback standards for a pool screen enclosure, it is not possible to meet the requirements of the Land Development Code. The requested variance is the minimum necessary to construct the screen enclosure on the subject property.

- 4. Granting the variance will not confer any special privilege that is not allowed for other lands, buildings or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances.**

Provisional Findings: Pool screen enclosures are abundant throughout this neighborhood and others within the city. Granting the variance will allow for reasonable use and enjoyment of the pool as it is now, and similar to other properties in the area.

- 5. Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.**

Provisional Findings: The proposed enclosure will be set back 10 feet from the rear property line, which is 5 feet further than typically required due to the presence of the fence, wall, and drainage easement. Further, the enclosure will be partially screened by the existing 8-foot-tall privacy fence and back up to Anclote Road. Property values are not expected to be adversely affected.



PUBLIC CORRESPONDENCE:

Notices were sent to property owners within 500 feet of the subject property; a legal notice was published in the Tampa Bay Times; and the property was posted. *Staff has not received any responses to these notices.*

ATTACHMENTS:

1. Staff Presentation
2. Application & Variance Addendum
3. Survey/Site Plan

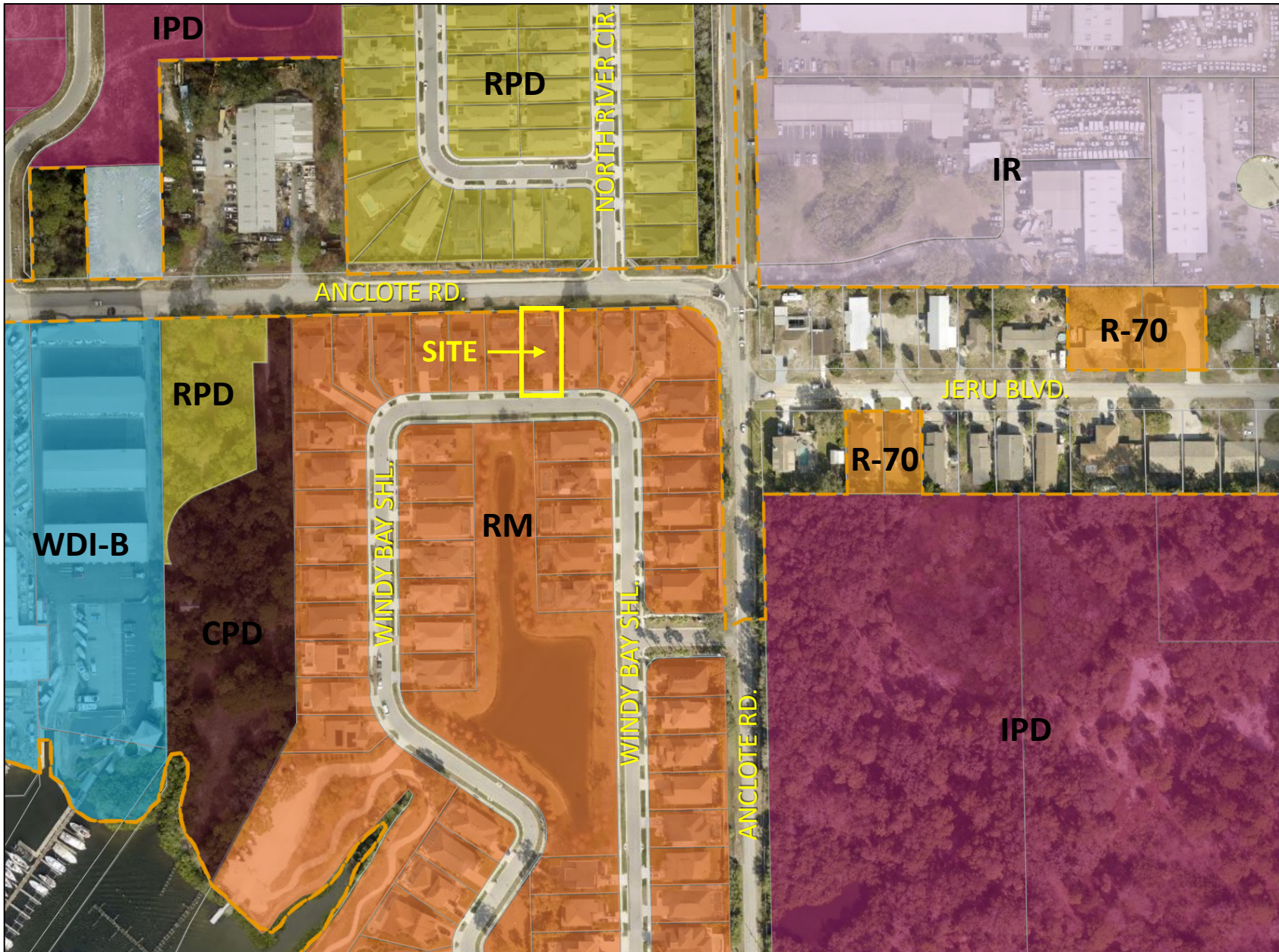
BUFFALINO

#25-37

Board of Adjustment – June 25, 2025



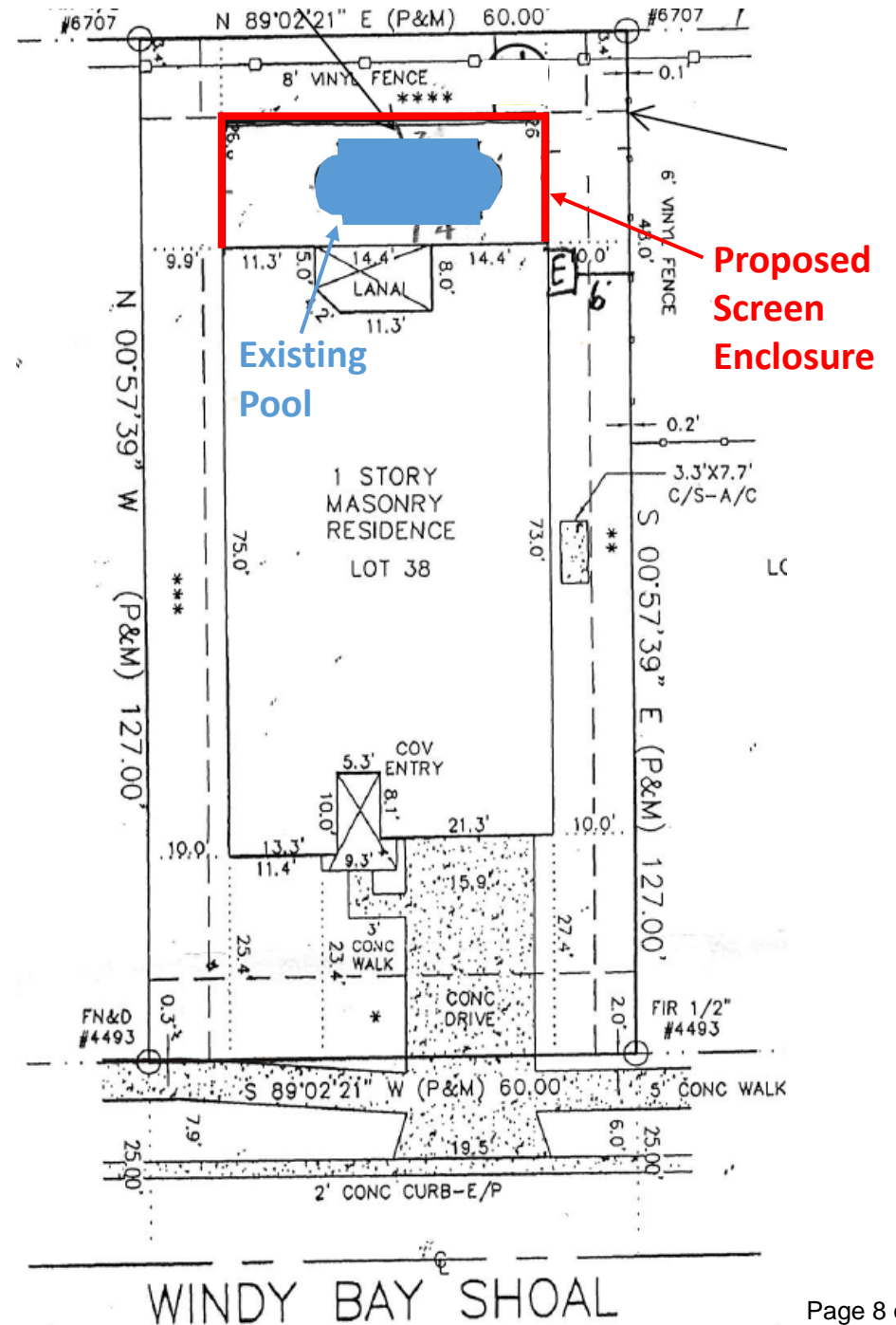
LOCATION & CONTEXT





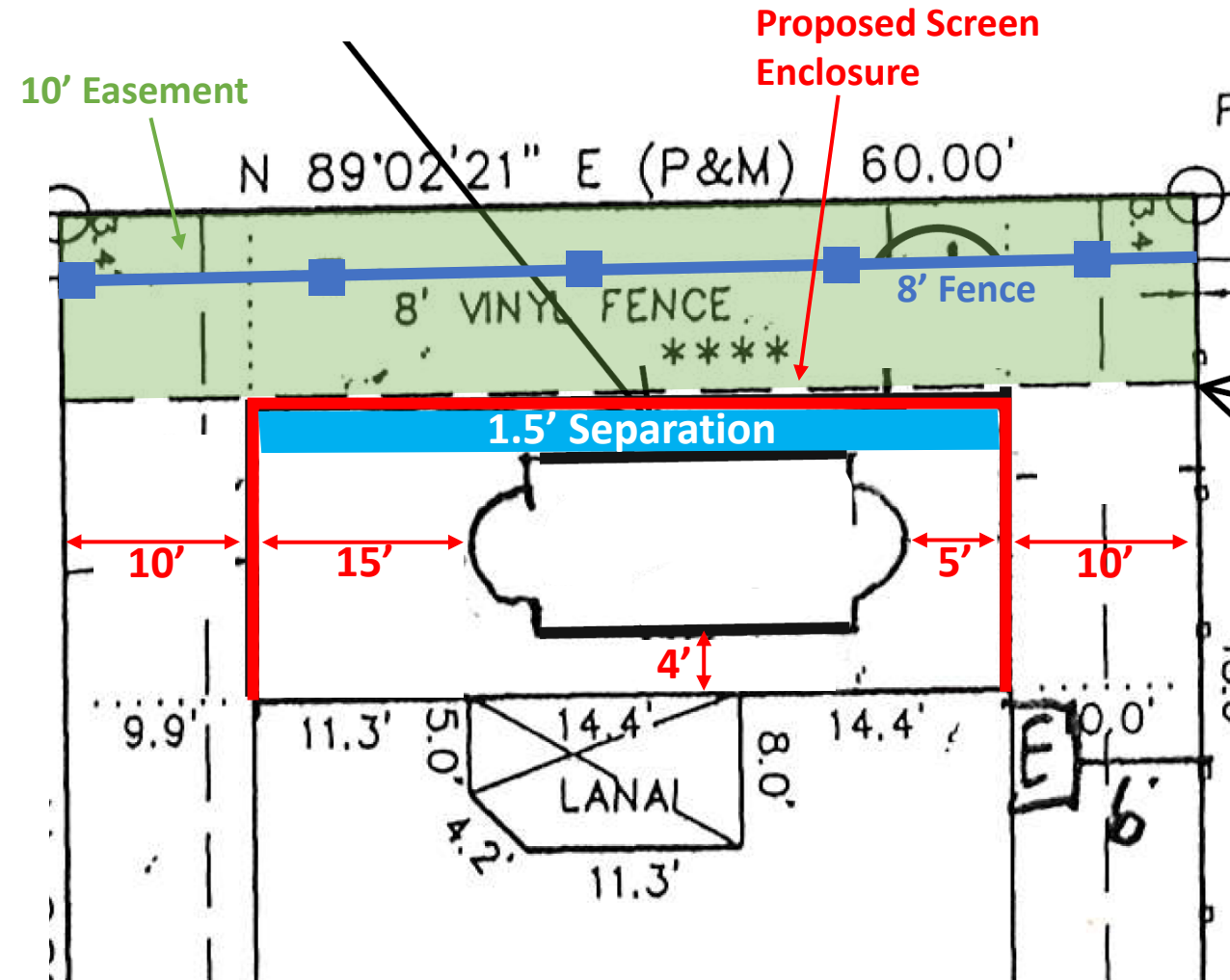
REQUEST

- **#25-37 – Pool Screen Enclosure Separation Distance**
 - Required= 3 feet
 - Proposed = 1.5 feet
- **Applicant:** Aaron DeShazer (Coastal Aluminum)
- **Owner:** Rosamarie Buffalino
- *Variance request to reduce the required separation distance between a pool and pool screen enclosure.*



SITE PLAN

- LDC 36.02(C) – Swimming Pools
 - *Min. Rear Setback*
 - Pool (measured from deck) = 5 feet, *plus outside any easement*
 - Enclosure = 5 feet, *plus outside any easement*
 - *Min. Separation Distance Between Water's Edge and Enclosure:*
 - Required = 3 feet
 - Proposed = 1.5 feet





PLANNING CONSIDERATIONS

Rear Yard Size

- Smaller Rear Yard (+/- 26.6 feet deep)
- 10-foot Fence, Wall, & Drainage Easement

Context

- Rear yard abuts Anclote Road
- Existing 8-foot Privacy Fence

Existing Pool

- Properly permitted and constructed in 2020 (#20-649). Enclosure not proposed at that time.

LDC Interim Amendments

- BOC has instructed staff to review the LDC for potential interim updates.
- Enclosure separation distance requirement has been flagged for review.
- Staff polled other Pinellas County jurisdictions and Clearwater, Dunedin, Oldsmar, & Seminole provided responses. Tarpon Springs and Seminole have this requirement, however, Seminole only requires 1 foot.
- At this time, staff has yet to complete review and does not have a recommendation as to whether this provision should be removed or amended.

REVIEW STANDARDS - VARIANCE

- 1) The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.
- 2) The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant.
- 3) Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant or reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property.
- 4) Granting the variance will not confer any special privilege that is not allowed for other lands, buildings or structures in the same zoning district; no variance will be granted that extends to the applicant a use of a property that is not commonly enjoyed by other persons in similar circumstances.
- 5) Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.



PLANNING & ZONING APPLICATION

INSTRUCTIONS

Please complete the application form fully and submit, with all supporting materials and applicable application addendums, **DIGITALLY** through the Planning and Zoning online application portal. If a project requires multiple application types, please complete the application form once and upload into each separate application project in goPost/ePlan.

Prior to proceeding to public hearing, an application must be deemed complete and all required application fees (see fee schedule on pages 5 and 6) **must be paid prior to public hearing**. Fees can be paid in person or mailed.

1. PROPERTY OWNER(S)

NAME BUFFALINO, ROSEMARIE BERNADETTE		EMAIL mamabuff3@aol.com
ADDRESS 1218 WINDY BAY SHL		
CITY TARPON SPRINGS	STATE FL	ZIP 34689
PHONE 727-938-2811		

2. APPLICANT(S) *(if different than owner)*

NAME Aaron DeShazer / Coastal Aluminum		EMAIL aaron@coastalaluminum.net
ADDRESS 8621 Arcola Ave		
CITY Hudson	STATE FL	ZIP 34667
PHONE Cell 727-534-1819 / Office 727-868-8802		

3. AGENT/REPRESENTATIVE *(if applicable)*

NAME Aaron DeShazer / Coastal Aluminum		EMAIL aaron@coastalaluminum.net
ADDRESS 8621 Arcola Ave		
CITY Hudson	STATE FL	ZIP 34667
PHONE Cell 727-534-1819 / Office 727-868-8802		



4. APPLICATION TYPE* (Please select all that apply)

General Applications

- | | | |
|--|---|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Minor Plat |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Site Plan/Subdivision | <input type="checkbox"/> Planned Development: |
| <input type="checkbox"/> Discussion Item | <input type="checkbox"/> Right-of-Way Vacation | <input type="checkbox"/> Concept |
| <input type="checkbox"/> Development Agreement | <input type="checkbox"/> Temporary Use (Dates: _____) | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Future Land Use Amendment | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Final |
| <input type="checkbox"/> Sidewalk Cafe | | |

Board of Adjustment Applications (BOA)

- Variance
- Nonconforming Lot of Record Variance
- FAR/ISR Adjustment
- Sidewalk Waiver
- After-the-Fact Variance
- De Minimis Variance

Heritage Preservation Applications (HPB)

- Certificate of Appropriateness
- Designation of Historic Property Form
- Economic Hardship Exemption Form
- Petition for Removal Form

* See Page 4 for required Application Addendums.

5. GENERAL INFORMATION

PROJECT NAME Buffalino Pool enclosure			
ADDRESS/LOCATION 1218 WINDY BAY SHL TARPON SPRINGS, FL 34689			
TAX PARCEL NUMBER(S) 02-27-15-89894-000-0380			
LEGAL DESCRIPTION TARPON KEY LOT 38			
SITE ACREAGE Upland _____ Wetland _____ Submerged _____ Total <u>.17</u>			
FLOOD (check all that apply) <input type="checkbox"/> Zone X <input type="checkbox"/> Zone X Shaded <input checked="" type="checkbox"/> Zone AE <input type="checkbox"/> Zone VE <input type="checkbox"/> Not in a Flood Zone Base Flood Elevation(s) (BFE): _____			
COASTAL HIGH HAZARD AREA (CHHA) <input type="checkbox"/> Yes, this property is located within the CHHA <input checked="" type="checkbox"/> No, this property is not located within the CHHA			

6. LAND USE & ZONING INFORMATION

CURRENT DESIGNATIONS		PROPOSED DESIGNATIONS (if applicable)	
LAND USE CATEGORY	ZONING CATEGORY	LAND USE CATEGORY	ZONING CATEGORY
Single Family Home	Residential		

7. SUMMARY/PURPOSE OF REQUEST

Requesting a Variance of the 3' open walkway from pool to screen enclosure to 1.5' due to there not being enough deck.



8. SIGNATURE(S)/AUTHORIZATION

APPLICANT'S SIGNATURE:

The information included in and with this application is completely true and correct to the best of my knowledge. Further, it is understood that this application must be complete and accurate and the appropriate fee(s) paid prior to processing.

[Handwritten Signature]
 (Applicant's Signature)

4/24/25
 (Date)

OWNER'S SIGNATURE*:

I authorize the filing of this application and will allow the Planning and Zoning Department staff to visit this property if necessary for the purpose of analyzing this request. Further, I will allow a public notice sign (if required) to be placed and remain on the property until the processing of the request is complete.

Rosemarie Buffalino
 (Owner's Signature)

4/24/25
 (Date)

*Not required for discussion item applications

AGENT AUTHORIZATION:

The agent named below is authorized to provide subject matter on the application contained herein on behalf of the property owner. The agent is authorized to discuss the application with city staff verbally or in person and to appear and represent the application at any public hearing.

Ava DeStorzo
 (Agent Name, Printed)

4/24/25
 (Date)

[Handwritten Signature]
 (Agent's Signature)

4/24/25
 (Date)

STATE OF FLORIDA)
 COUNTY OF PINELLAS)

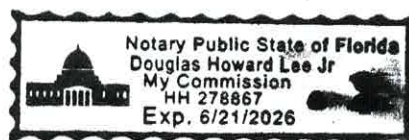
The foregoing instrument was acknowledged before me by means of physical presence or Online notarization, this 24th day of April, A.D., 2025 by Rosemarie Buffalino, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.

NOTARY PUBLIC

Name: DOUGLAS LEE JR

Signature: [Handwritten Signature]

Stamp:





APPLICATION ADDENDUM
VARIANCE APPLICATION FORM

INSTRUCTIONS

Please complete the form fully and submit with the associated development application, **DIGITALLY** through the Planning and Zoning online application portal (goPost/ePlan).

1. GENERAL INFORMATION

PROJECT NAME Buffalino Pool enclosure
ADDRESS/LOCATION 1218 WINDY BAY SHL TARPON SPRINGS, FL 34689
TAX PARCEL NUMBER(S) 02-27-15-89894-000-0380

2. VARIANCE REQUESTED

I am requesting a variance from Land Development Code (LDC) Section(s) 36.02.

Please describe the project and how it varies from the LDC. (e.g., A side setback variance reduction from the required 10 feet to 7 feet for the purpose of constructing an addition onto an existing home)

Requesting a Variance of the 3' distance from water's edge to screen enclosure to 1.5' due to there not being enough deck.

3. BOARD OF ADJUSTMENT REVIEW STANDARDS

Per [LDC Section 215.02\(B\)](#), the Board of Adjustment may only grant a variance when the following standards are determined to be met and proven by competent substantial evidence. **Please review the standards listed below and provide a justification on how your request meets each of the standards.**

- (1) The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district. (What are the physical hardships on the property that prevent you from meeting the requirements of the code?)
 - (a) Preservation of a protected or native tree(s), but not an invasive tree(s), as defined in Sections 133 and 134 of the LDC, may be considered as a relevant environmental condition. (If there are protected or native trees on the property, they could be considered a physical hardship if their preservation results in the need for the variance.)
 - (b) Location of the property in the Historic District may be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within the District before any variance may be granted. (If the need for the variance is in response to the property being in the Historic District, it could be considered a physical hardship.)



Due to the limited space in the back yard the amount of deck from the pool does not allow for a pool enclosure with the 3' requirement of deck space. The pool is also already constructed with 2' from water's edge to the edge of the deck.

- (2) The conditions o special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant. *(Is the variance in response to an action or situation in which you created? e.g. You installed a pool at the minimum setbacks, which prevents you from constructing a screen enclosure)*

The amount of rear yard is very small only allowing 2' of deck from the water's edge even with a small pool.

- (3) Literal enforcement of the requirements of the Code would have the effect of denying the applicant reasonable use of the property, or legally conforming buildings or structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property. *(Does the variance result in reasonable use of the property and its structures?)*

The code would deny the ability to install a pool enclosure.

- (4) Granting the variance will not confer any special privilege that is not allowed for other lands, buildings, or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances. *(Would approval of the variance request result in special privilege that is not commonly enjoyed by other properties within the same district?)*

NO

- (5) Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by the approval of the variance, alter the essential character of the neighborhood, or create a nuisance. *(Would approval of this request have an adverse effect on surrounding properties?)*


The reduced walk space would not affect any surrounding properties.



3. SIGNATURE(S)/AUTHORIZATION

APPLICANT/PROPERTY OWNER/AGENT SIGNATURE(S):

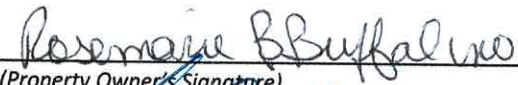
The information included in and with this application is completely true and correct to the best of my knowledge. Further, I understand that a detailed property management plan may be requested as a part of this application.



 (Applicant's Signature)

4/24/25

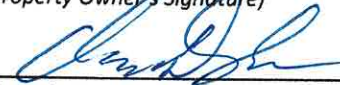
 (Date)

✶ 

 (Property Owner's Signature)

4/24/25

 (Date)



 (Agent's Signature)

4/24/25

 (Date)

RECORD SURVEY (FINAL)
 LOT 38
 TARPON KEY
 PINELLAS COUNTY, FLORIDA.

SEC. 02, TWP. 27 S, RNG. 15 E.

BEARING BASIS:

NORTHERLY LOT LINE OF LOT 38 BEING N 89°02'21" E

PREPARED FOR & CERTIFIED TO:
 CALATLANTIC HOMES
 CALATLANTIC TITLE
 FIRST AMERICAN TITLE INSURANCE CO
 CALATLANTIC MORTGAGE LLC
 LARRY JAMES BUFFALINO
 ROSEMARIE BUFFALINO



THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH. ALSO SUBJECT TO SETBACKS, EASEMENTS AND RESTRICTIONS OF RECORD.

UNDERGROUND FOOTER, STEM WALL, AND UNDERGROUND UTILITIES ARE NOT LOCATED OR SHOWN.

DO NOT SCALE THIS PRINT. DIMENSIONS AND NOTES TAKE PREFERENCE.

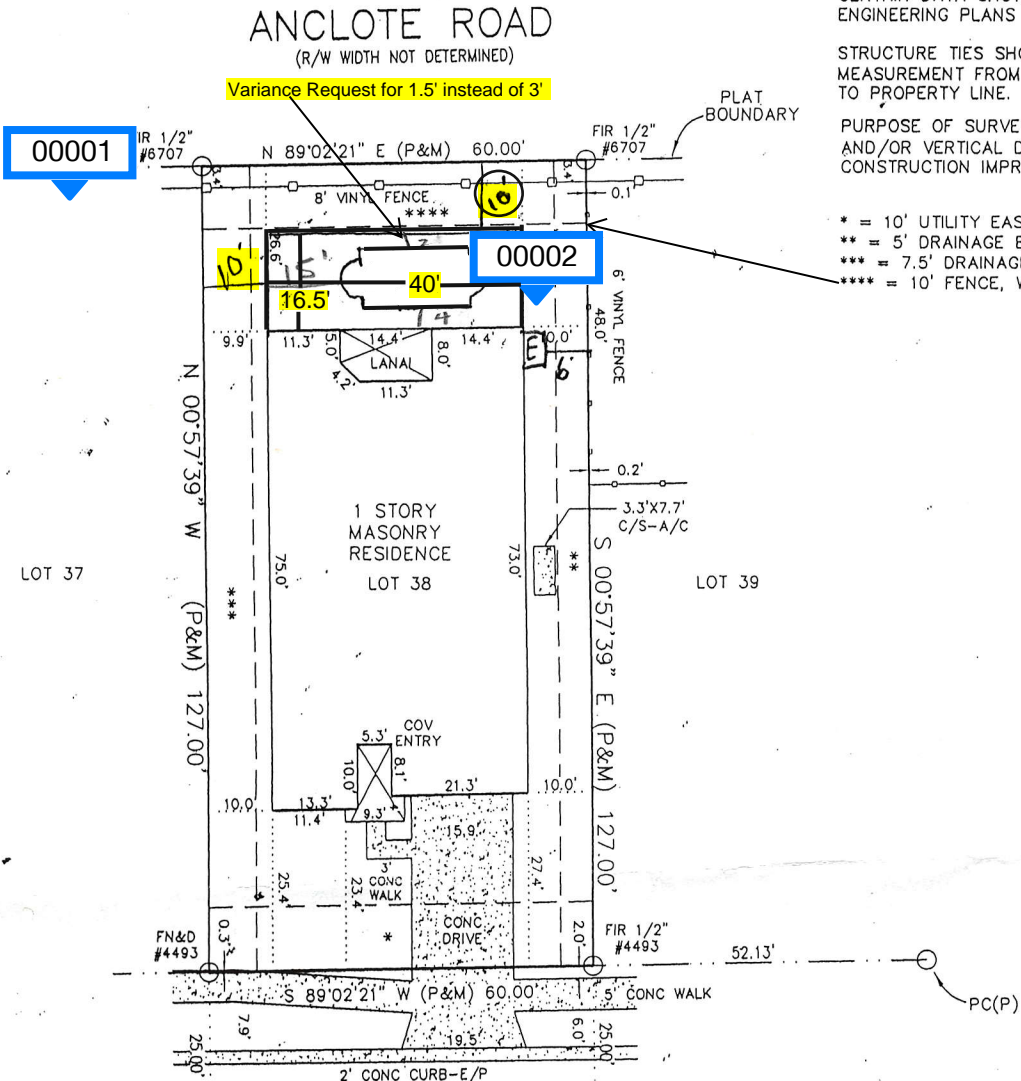
DESCRIPTION NOT CONTAINING PLAT BOOK AND PAGE INDICATES THAT PLAT IS IN PRELIMINARY STAGE AND IS SUBJECT TO CHANGE AND/OR REVISION.

CERTAIN DATA SHOWN HEREON BASED ON ENGINEERING PLANS PROVIDED BY CLIENT.

STRUCTURE TIES SHOWN HEREON DENOTES MEASUREMENT FROM FORM BOARDS/FOUNDATION TO PROPERTY LINE.

PURPOSE OF SURVEY: TO OBTAIN HORIZONTAL AND/OR VERTICAL DIMENSIONAL DATA TO SHOW CONSTRUCTION IMPROVEMENTS.

- * = 10' UTILITY EASEMENT
- ** = 5' DRAINAGE EASEMENT
- *** = 7.5' DRAINAGE EASEMENT
- **** = 10' FENCE, WALL & DRAINAGE EASEMENT



WINDY BAY SHOAL
 (50'R/W)

FLOOD ZONE REVISED PER
 LETTER OF MAP REVISION
 CASE No.: 14-04-A518A
 DATED: 10/02/2014

LOWEST FLOOR ELEVATIONS:
 LIVING AREA: 11.21'
 GARAGE AREA: 10.60'
 ELEVATIONS REFERENCED TO
 NORTH AMERICAN VERTICAL
 DATUM OF 1988. MEAN SEA
 LEVEL= 00.00 FT.

DESCRIPTION:

LOT 38, MAP OR PLAT ENTITLED "TARPON KEY", AS RECORDED IN PLAT BOOK 138, PAGE(S) 98 THROUGH 101, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

APPARENT FLOOD HAZARD ZONE: "X" COMMUNITY PANEL NO. 12103C 0017 G EFFECTIVE DATE: 09/03/2003 (BFE=10')

Project Number: _____	Square Feet: 7620.00 ±	RYLAND HOMES
LEGEND: (C)= CALCULATED DATA, (D)= DEED DATA, (M)= MEASURED DATA, (P)= PLAT DATA, CL= CENTERLINE, A/C= AIR CONDITIONER, B/C= BACK OF CURB, C/S= CONCRETE SLAB, CH= CHORD, CHB= CHORD BEARING, CLF= CHAIN LINK FENCE, CONC= CONCRETE, COV.= COVERED, E/P= EDGE OF PAVEMENT, ESM'T= EASEMENT, F/C= FENCE CORNER, FCM= FOUND CONCRETE MONUMENT, FIP= FOUND IRON PIPE, FIR= FOUND IRON ROD, FN&D= FOUND NAIL & DISK, FPP= FOUND PINCHED PIPE, LFE= LOWEST FLOOR ELEVATION, MAS.= MASONRY, OR= OFFICIAL RECORD BOOK, PB= PLAT BOOK, PCP= PERMANENT CONTROL POINT, PRM= PERMANENT REFERENCE MONUMENT, R/W= RIGHT OF WAY, R= RADIUS, SIR=SET 1/2" IRON ROD & CAP No. 4493, SN&D= SET NAIL & DISK, TBM= TEMPORARY BENCHMARK, U/P= UTILITY POLE, W/F= WOOD FENCE, (R)= RADIAL		
 JOHN R. BEACH & ASSOCIATES, INC. SURVEYORS AND MAPPERS 911 WEST ST. PETERSBURG DRIVE OLDSMAR, FLORIDA 34677 (813) 854-1276 FAX (813) 855-8370	Drawn By: JBS	I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES. JOHN R. BEACH FLORIDA REG. LAND SURVEYOR No. 2984 DATE 09/29/17 LB#4493
	Checked By: JRB	
	Scale: 1"=30'	
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER	Date of Survey: FINAL 2/2/17 DJB	
Revisions: FORM BOARD TIE IN 7/29/16 DWB, FOUNDATION TIE IN 10/6/16 DWB		

Cur's 9/29/17



CITY OF TARPON SPRINGS
BOARD OF ADJUSTMENT
[JUNE 25, 2025]

STAFF REPORT

Application No. / Project Title: #25-39 (Fedorisin)
Staff: Allie Keen, AICP, Principal Planner
Applicant / Owner: Mark Tenney / Lorraine Fedorisin
Property Size: +/- 0.34 acres
Current Zoning: R-100 (Single Family Residential)
Current Land Use: RL (Residential Low)
Location / Parcel ID: 1727 Grand Central Drive / 10-27-15-25686-000-0220

BACKGROUND SUMMARY:

The applicant is requesting variance approval to reduce the required rear yard setback to 23.7 feet, 6.3 feet less than required, for the purpose of enclosing an existing multi-story deck which provides access to an elevator that is currently under construction.

PRELIMINARY STAFF RECOMMENDATION:

Based on the information available at the time this report was prepared, staff recommend **approval** of this request.

LAND DEVELOPMENT CODE CONSIDERATIONS:

District Intent: The single-family residential districts are established to provide for detached dwellings in a variety of districts with a full range of dimensional and density standards compatible with the established development of the area.

Development Standards:

1. Per Land Development Code (LDC) Section 25.02(D)(6)(d), the minimum rear yard setback required in the R-100 zoning district is 30 feet.
2. Per LDC Section 55.01(A)(1), a minimum 30-foot shoreline buffer along the Gulf is required, measured from the mean high tide or center of a seawall.

CURRENT PROPERTY INFORMATION:

Use of Property:	Single Family Residential
Site Features:	Single-family home, driveway, dock, fence, decks, and landscaping.
Vehicle Access:	This property gains access from Grand Central Drive.



SURROUNDING ZONING & LAND USE:

	Zoning:	Land Use:
North:	R-100 (Single Family Residential)	RL (Residential Low)
South:	R-100 (Single Family Residential)	P (Preservation)
East:	R-100 (Single Family Residential)	RL (Residential Low)
West:	N/A (Gulf)	N/A (Gulf)

PLANNING CONSIDERATIONS:

When considering this application, the following general site conditions, planning concepts, and other facts should be noted:

1. The applicant is proposing to enclose an existing multi-story deck for the purpose of providing access to an elevator that is currently under construction on the property. The project includes a partial enclosure of the ground floor and full enclosure of the upper levels.
2. Per LDC Section 25.02(D)(6)(d), the minimum rear yard setback in the R-100 zoning district is 30 feet. Additionally, LDC Section 55.01(A)(1) also requires a 30-foot shoreline buffer from the Gulf, measured from the center of the seawall. According to the provided site plan, the setback of the deck is 23.7 feet.
3. LDC Section 38.00(F) permits above grade decks to encroach up to 10 feet into the required rear yard setback. Because the existing deck is proposed to be fully enclosed, the yard encroachment allowance no longer applies which necessitates the variance request.
4. The purpose of the proposed project is to provide interior access to an elevator that is currently under construction (Permit #24-1432). The elevator is considered a permitted yard encroachment per LDC Section 38.00(H), which allows air conditioning units and other similar accessory equipment to be in any required side or rear yard. The original permit was limited to the elevator. At this time, the applicant has applied for a separate permit to enclose the existing multi-story deck. The yard encroachment allowance cannot apply to the structure.
5. The deck is located at the rear of the home, which faces the Gulf. The deck is screened from adjacent properties by the elevator on the east side and the existing home on the west side.
6. According to the Pinellas County Property Appraiser, the existing home was constructed in 1985, predating the current land development code. There are portions of the home that are nonconforming and encroach the rear yard setback.

REVIEW STANDARDS / PROVISIONAL FINDINGS OF FACT:

Section 215.02(B) of the Land Development Code provides that the Board of Adjustment shall grant no variance unless certain standards are met and proven by competent substantial evidence. These standards, along with planning staff's provisional findings of fact are provided below:

- 1. The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.**

Provisional Findings: The need for the variance is due to the existing multi-story deck's setback and the new elevator's location and access orientation. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*



- 2. The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant.**

Provisional Findings: The elevator was properly permitted and permitted to be within the required rear yard setback due to the Land Development Code's yard encroachment allowances for equipment. The elevator was permitted to be oriented towards the existing deck for access. Although the deck enclosure was not originally included in the scope of work, it is reasonable to expect interior access from an elevator to the home, therefore the special circumstances have not been self-created with prior knowledge from the applicant. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

- 3. Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant of reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property.**

Provisional Findings: The elevator, which was properly permitted, is under construction and oriented to have access to the existing deck. It is reasonable to have interior access from the elevator to the home. The applicant is requesting to enclose an existing structure at the backside of the home; therefore, the requested variance is the minimum necessary to make reasonable use of the property and the elevator. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

- 4. Granting the variance will not confer any special privilege that is not allowed for other lands, buildings or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances.**

Provisional Findings: Typically, residential elevators are accessed from the interior of homes. The proposed project encloses an existing structure that is fully screened from adjacent properties. Granting approval of this request will not confer special privileges to the applicant than other property owners with similar circumstances. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

- 5. Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.**

Provisional Findings: The proposed enclosure will not be visible from the street or adjacent properties and is the same footprint as the existing deck. Therefore, it is not expected to substantially diminish property values or alter the character of the surrounding area. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

PUBLIC CORRESPONDENCE:

Notices were sent to property owners within 500 feet of the subject property; a legal notice was published in the Tampa Bay Times; and the property was posted. *Staff have not received any responses to these notices.*



ATTACHMENTS:

1. Staff Presentation
2. Application & Variance Addendum
3. Site Plan
4. Survey
5. Elevations
6. Photos of Elevator

FEDORISIN #25-39

Board of Adjustment – June 25, 2025



LOCATION & CONTEXT



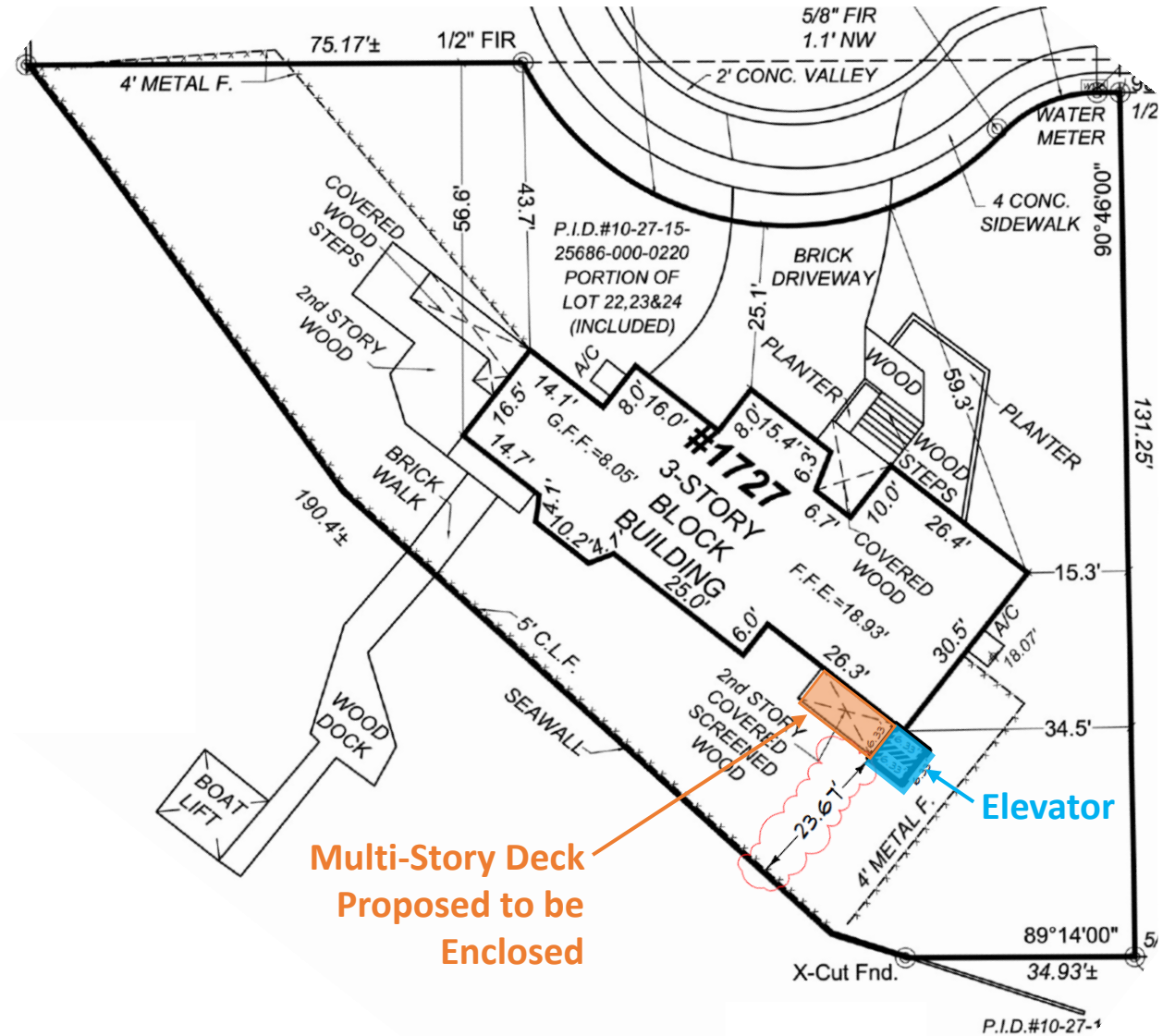
REQUEST

- **#25-39 – Rear Setback**
 - Required= 30 feet
 - Proposed = 26.7 feet
- **Applicant:** Mark Tenney
- **Owner:** Lorraine Fedorisin
- *Variance request to reduce the required rear yard setback to enclose an existing multi-story deck to provide interior access to an elevator (currently under construction).*



SITE PLAN

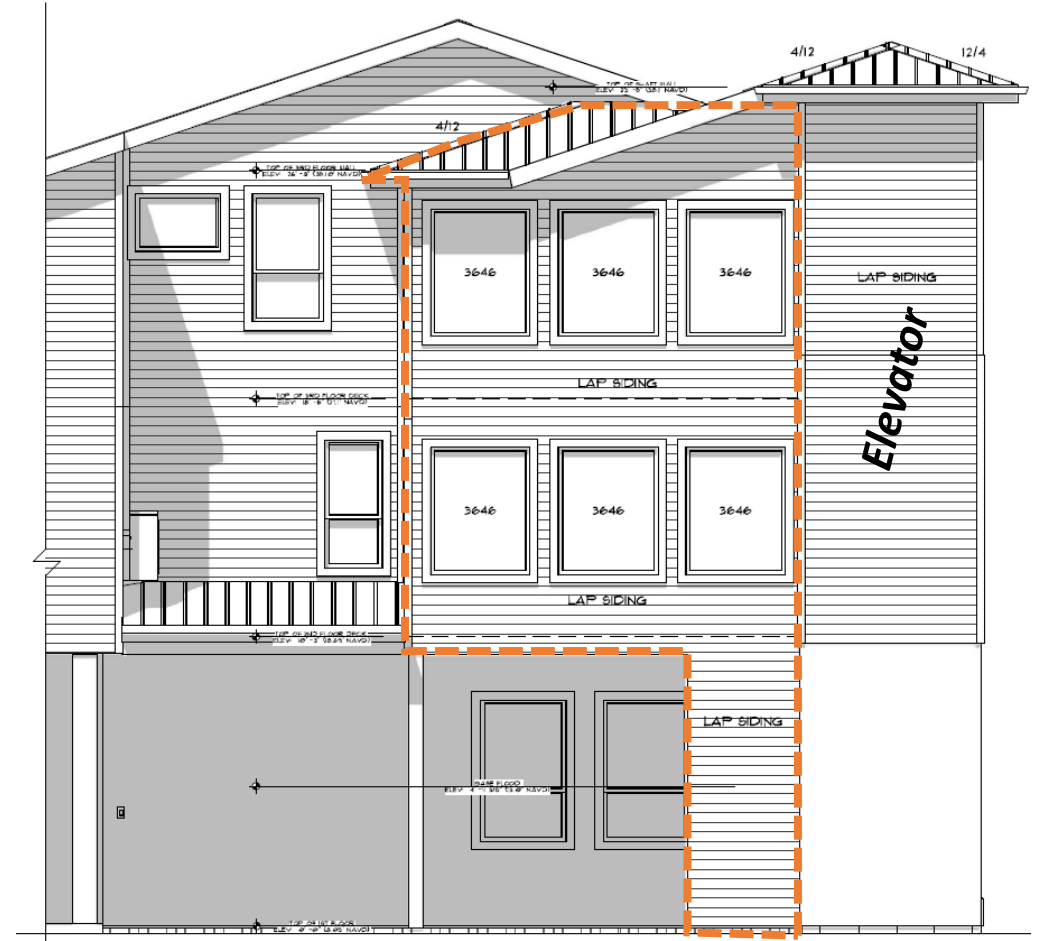
- LDC Section 25.02 – Min. Rear Setback & LDC Section 55.01(A)(1) – Shoreline Buffer
 - Required = 30 feet
 - Proposed = 26.7 feet



ELEVATIONS



Existing South Elevation



Proposed South Elevation

PLANNING CONSIDERATIONS

LDC Section 38.00 – Yard Encroachments

- Above grade decks may encroach up to 10-feet into the required rear yard.
- Air conditioning units and similar equipment are permitted in any side or rear yard.

Context & Conditions

- Located on the backside of the home.
- Screened from adjacent properties by the elevator to the east and existing home to the west.
- Home built is 1985, predating LDC. Portions of existing home are nonconforming and encroach current rear yard setback requirement.



REVIEW STANDARDS - VARIANCE

- 1) The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.
- 2) The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant.
- 3) Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant or reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property.
- 4) Granting the variance will not confer any special privilege that is not allowed for other lands, buildings or structures in the same zoning district; no variance will be granted that extends to the applicant a use of a property that is not commonly enjoyed by other persons in similar circumstances.
- 5) Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.



PLANNING & ZONING APPLICATION

INSTRUCTIONS

Please complete the application form fully and submit, with all supporting materials and applicable application addendums, **DIGITALLY** through the Planning and Zoning online application portal. If a project requires multiple application types, please complete the application form once and upload into each separate application project in goPost/ePlan.

Prior to proceeding to public hearing, an application must be deemed complete and all required application fees (see fee schedule on pages 5 and 6) **must be paid prior to public hearing**. Fees can be paid in person or mailed.

1. PROPERTY OWNER(S)

NAME Lorraine Fedorisin		EMAIL lfedorisin@yahoo.com	
ADDRESS 1727 Grand Central Dr			
CITY Tarpon Springs		STATE FL.	ZIP 34689
PHONE 330-507-6804			

2. APPLICANT(S) *(if different than owner)*

NAME Mark Tenney		EMAIL tctcontractingservices@gmail.com	
ADDRESS 827 Florida Ave.			
CITY Palm Harbor		STATE FL.	ZIP 34683
PHONE			

3. AGENT/REPRESENTATIVE *(if applicable)*

NAME		EMAIL	
ADDRESS			
CITY		STATE	ZIP
PHONE			



4. APPLICATION TYPE* (Please select all that apply)

General Applications

- | | | |
|--|---|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Minor Plat |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Site Plan/Subdivision | <input type="checkbox"/> Planned Development: |
| <input type="checkbox"/> Discussion Item | <input type="checkbox"/> Right-of-Way Vacation | <input type="checkbox"/> Concept |
| <input type="checkbox"/> Development Agreement | <input type="checkbox"/> Temporary Use (Dates: _____) | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Future Land Use Amendment | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Final |
| <input type="checkbox"/> Sidewalk Cafe | | |

Board of Adjustment Applications (BOA)

- Variance
- Nonconforming Lot of Record Variance
- FAR/ISR Adjustment
- Sidewalk Waiver
- After-the-Fact Variance
- De Minimis Variance

Heritage Preservation Applications (HPB)

- Certificate of Appropriateness
- Designation of Historic Property Form
- Economic Hardship Exemption Form
- Petition for Removal Form

* See Page 4 for required Application Addendums.

5. GENERAL INFORMATION

PROJECT NAME Fedorisin
ADDRESS/LOCATION 1727 Grand Central Dr. Tarpon Springs, Fl. 34689
TAX PARCEL NUMBER(S) 10-27-15-25686-000-0220
LEGAL DESCRIPTION El Nido Sub. Lots 22,23,24
SITE ACREAGE Upland _____ Wetland _____ Submerged _____ Total 0.34 acres
FLOOD (check all that apply) <input type="checkbox"/> Zone X <input type="checkbox"/> Zone X Shaded <input type="checkbox"/> Zone AE <input type="checkbox"/> Zone VE <input type="checkbox"/> Not in a Flood Zone Base Flood Elevation(s) (BFE): 14
COASTAL HIGH HAZARD AREA (CHHA) <input checked="" type="checkbox"/> Yes, this property is located within the CHHA <input type="checkbox"/> No, this property is not located within the CHHA

6. LAND USE & ZONING INFORMATION

CURRENT DESIGNATIONS		PROPOSED DESIGNATIONS (if applicable)	
LAND USE CATEGORY	ZONING CATEGORY	LAND USE CATEGORY	ZONING CATEGORY
R6	R100		

7. SUMMARY/PURPOSE OF REQUEST

Enclose an inprogress elevator for ADA purposes. The enclosure is needed for both weather and access into the existing home



8. SIGNATURE(S)/AUTHORIZATION

APPLICANT'S SIGNATURE:

The information included in and with this application is completely true and correct to the best of my knowledge. Further, it is understood that this application must be complete and accurate and the appropriate fee(s) paid prior to processing.

[Handwritten Signature]
 (Applicant's Signature)

5-12-2025
 (Date)

OWNER'S SIGNATURE*:

I authorize the filing of this application and will allow the Planning and Zoning Department staff to visit this property if necessary for the purpose of analyzing this request. Further, I will allow a public notice sign (if required) to be placed and remain on the property until the processing of the request is complete.

[Handwritten Signature]
 (Owner's Signature)

 (Date)

**Not required for discussion item applications*

AGENT AUTHORIZATION:

The agent named below is authorized to provide subject matter on the application contained herein on behalf of the property owner. The agent is authorized to discuss the application with city staff verbally or in person and to appear and represent the application at any public hearing.

[Handwritten Signature]
 (Agent Name, Printed)

5-12-2025
 (Date)

[Handwritten Signature]
 (Agent's Signature)

5-12-2025
 (Date)

STATE OF FLORIDA)
 COUNTY OF PINELLAS)

The foregoing instrument was acknowledged before me by means of () physical presence or () Online notarization, this 12th day of May, A.D., 2025 by Mark Tenney, who is personally known to me or who has produced FL driver license as identification and who did (did not) take an oath.

NOTARY PUBLIC

Name: *[Handwritten Signature]*

Signature: *[Handwritten Signature]*

Stamp:



ARTINA ZIZOLLI
 Notary Public
 State of Florida
 Comm# HH334423
 Expires 12/14/2026

Rev. June 2024



APPLICATION ADDENDUM
VARIANCE APPLICATION FORM

INSTRUCTIONS

Please complete the form fully and submit with the associated development application, **DIGITALLY** through the Planning and Zoning online application portal (goPost/ePlan).

1. GENERAL INFORMATION

PROJECT NAME Fedorisin
ADDRESS/LOCATION 1727 Grand Central Dr. Tarpon Springs, FL. 34689
TAX PARCEL NUMBER(S) 10-27-15-25686-000-0220

2. VARIANCE REQUESTED

I am requesting a variance from Land Development Code (LDC) Section(s) 6-64.7.

Please describe the project and how it varies from the LDC. (e.g., A side setback variance reduction from the required 10 feet to 7 feet for the purpose of constructing an addition onto an existing home)

A variance for the rear setback from 30.0' to 23.7'. For the purpose of adding an enclosure from the elevator to the home

3. BOARD OF ADJUSTMENT REVIEW STANDARDS

Per LDC Section 215.02(B), the Board of Adjustment may only grant a variance when the following standards are determined to be met and proven by competent substantial evidence. **Please review the standards listed below and provide a justification on how your request meets each of the standards.**

- (1) The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district. (What are the physical hardships on the property that prevent you from meeting the requirements of the code?)
 - (a) Preservation of a protected or native tree(s), but not an invasive tree(s), as defined in Sections 133 and 134 of the LDC, may be considered as a relevant environmental condition. (If there are protected or native trees on the property, they could be considered a physical hardship if their preservation results in the need for the variance.)
 - (b) Location of the property in the Historic District may be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within the District before any variance may be granted. (If the need for the variance is in response to the property being in the Historic District, it could be considered a physical hardship.)



The permitted construction of the elevator met previous zoning requirements and realizing that the new elevator needs to be enclosed for weather and ADA access into the existing home. This area is not a living area.

- (2) The conditions o special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant. *(Is the variance in response to an action or situation in which you created? e.g. You installed a pool at the minimum setbacks, which prevents you from constructing a screen enclosure)*

Construction of the elevator is in prigrass. The need to provide an enclosure from the elevator to the existing home is to protect the stucture and owners from inclement weather.

- (3) Literal enforcement of the requirements of the Code would have the effect of denying the applicant reasonable use of the property, or legally conforming buildings or structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property. *(Does the variance result in reasonable use of the property and its structures?)*

The variance will result in reasonable use of the property and the structure. There are currently open deck spaces in place now.

- (4) Granting the variance will not confer any special privilege that is not allowed for other lands, buildings, or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances. *(Would approval of the variance request result in special privilege that is not commonly enjoyed by other properties within the same district?)*

By reducing the rear setback to 23.7' will not result in any special privilege to the owners due to deck structures currently in place now

- (5) Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by the approval of the variance, alter the essential character of the neighborhood, or create a nuisance. *(Would approval of this request have an adverse effect on surrounding properties?)*

Adding the enclosure will not have any adverse effects on any surrounding properties



3. SIGNATURE(S)/AUTHORIZATION

APPLICANT/PROPERTY OWNER/AGENT SIGNATURE(S):

The information included in and with this application is completely true and correct to the best of my knowledge. Further, I understand that a detailed property management plan may be requested as a part of this application.

 (Applicant's Signature)

5-12-2025
 (Date)

 (Property Owner's Signature)

5-12-2025
 (Date)

 (Agent's Signature)

 (Date)

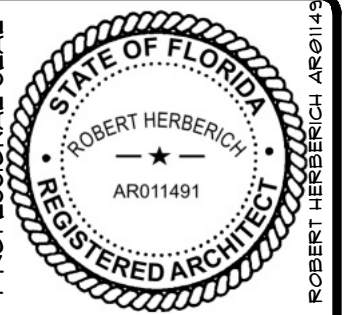
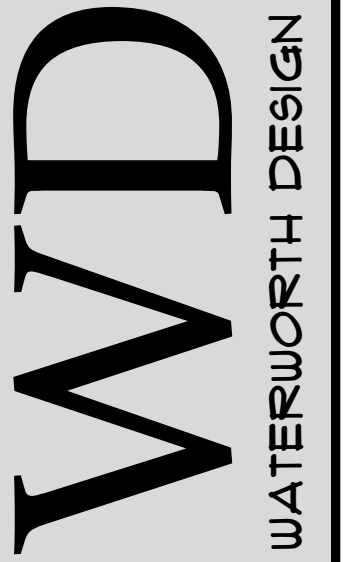
TENNEY CONSTRUCTION TEAM, INC

EXTERIOR ELEVATOR

TARPON SPRINGS FL.

REVISIONS	BY
05.01.25	WFW

121.410.3070
 ROBERT HERBERICH - ARCHITECT
 WAYNE P. WATERWORTH - DESIGNER
 2832 CUMBERLAND TR. CLEARWATER, FLORIDA 33766
 WATERWORTHDESIGN.COM



PROJECT FOR:
LORAIN BEACH
 1721 GRAND CENTRAL DRIVE
 TARPON SPRINGS, FLORIDA 34689

DRAWN BY:
 WAYNE P. WATERWORTH
 APPROVED:

DATE
 11.08.23
 SCALE
 NOTED
 JOB NO.

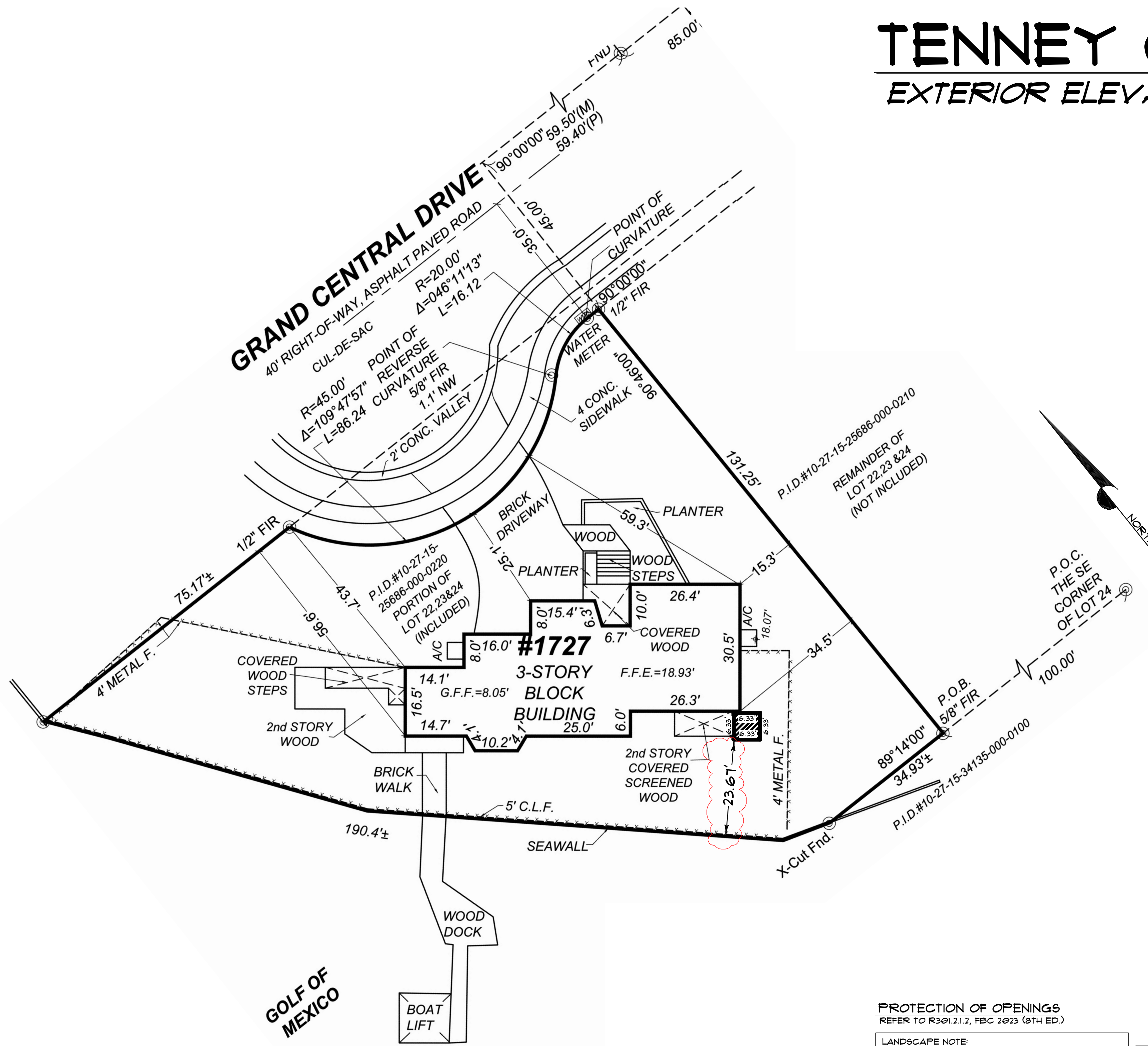
SHEET DESCRIPTION
 GENERAL NOTES & SPECIFICATIONS

SHEET
A-1
 OF 4 SHEETS

GENERAL NOTES AND SPECIFICATIONS

THE FOLLOWING GENERAL NOTES SHALL PERTAIN TO THE ENTIRE SET OF CONTRACT DOCUMENTATION IN ACCORDANCE WITH ALL APPLICABLE CODES GOVERNING EACH TRADE.

- GENERAL CONTRACTOR AND SUBSTRATES SHALL PERFORM THEIR WORK IN ACCORDANCE WITH ALL APPLICABLE CODES GOVERNING EACH TRADE.
- EACH CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO THE INITIATION OF WORK AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OF THE CONDITIONS INTERFERING WITH THE ABILITY OF THE CONTRACTOR TO COMPLETE WORK AS OUTLINED ON THE CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL REPORT ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION WORK PROMPTLY TO THE OWNER. SUBMIT A PROPOSAL FOR CORRECTIVE ACTION TO THE OWNER FOR REVIEW, MAKE CORRECTIONS WITH OUT CHANGE IN THE CONTRACT PRICE AFTER RECEIVING WRITTEN NOTIFICATION THAT NO OBJECTIONS TO THE PROPOSED CORRECTION HAVE BEEN FOUND BY THE OWNER.
- THE CONTRACTOR SHALL PROMPTLY REPORT TO THE OWNER ANY CONDITIONS AT THE SITE OR IN THE CONTRACT DOCUMENTS THAT WOULD INVOLVE A CONFLICT OR THAT IN GENERAL WOULD MAKE IT IMPOSSIBLE TO CARRY OUT THE WORK AS INDICATED. OBTAIN WRITTEN INSTRUCTIONS FROM THE OWNER BEFORE PROCEEDING WITH ANY MODIFICATIONS.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AS THE DESIGNER WILL NOT BE PROVIDING CONSTRUCTION INSPECTION SERVICES UNLESS REQUESTED BY THE OWNER. THE OWNER AND GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF ALL WORKMANSHIP AND COMPLIANCE WITH GOVERNING CODES.
- THE CONTRACTOR SHALL ALLOW THE OWNER FREE ACCESS TO COMPLETED WORK AND STORED MATERIALS. DEFICIENT WORK AND MATERIALS MAY BE REJECTED BY THE OWNER AT ANY TIME THE DEFICIENCIES ARE FOUND REGARDLESS OF THE DEGREE OF COMPLETION OF THE WORK. REVIEW OF WORK IN PROGRESS, STORED MATERIALS AND/OR COMPLETED WORK BY THE OWNER. OWNER'S REPRESENTATIVE GOVERNMENT AGENCY OFFICIALS OR SPECIAL INSPECTORS, DOES NOT RELEASE THE CONTRACTOR OF ANY RESPONSIBILITIES ESTABLISHED BY THE CONTRACT DOCUMENTS.
- FABRICATE MATERIALS AND COMPONENTS THAT FORM PART OF STRUCTURAL MEMBERS OF ASSEMBLIES TO THE DIMENSIONS NECESSARY IN ORDER TO SATISFY THE DESIGN INTENT. DIMENSIONS AND ELEVATIONS INDICATED ON THE CONTRACT DOCUMENTS. VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS WHICH ARE AFFECTED BY THE SIZES OF PREFABRICATED COMPONENTS OR EQUIPMENT OF OTHER TRADES AGAINST ACTUAL SIZES AND REQUIREMENTS OF OBJECTS PURCHASED. DO THIS BEFORE FABRICATING OR CONSTRUCTION OF ANY STRUCTURAL ITEMS INVOLVED. ALL 2X WOOD SPECIFIED SHALL BE FINE, FIR, OR SPRUCE NO. 2 GRADE OR BETTER AND PRESSURE TREATED WHEN IN CONTACT W/CONCRETE AND WHERE REQUIRED.
- DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE DESIGNER BEFORE CONTINUING WITH CONSTRUCTION.
- SPECIFIC SECTIONS, DETAILS, AND STANDARD DETAILS ARE INDICATED ON THE PLANS AT THE LOCATIONS WHERE THEY OCCUR OR AT CHARACTERISTIC LOCATIONS. THEY APPLY UNLESS OTHERWISE INDICATED AT OTHER LOCATIONS WHERE IMPLIED BY SIMILARITY OF CONSTRUCTION.
- ANY MATERIALS OR WORKMANSHIP FURNISHED AS A PART OF THIS PROJECT WHICH PROVE DEFECTIVE WITHIN ONE YEAR OF THE DATE OF ACCEPTANCE OF THE WORK REQUIRED UNDER THIS CONTRACT (DAMAGE BY WEAR AND TEAR OR VIOLATION OF CASUALTY NOT THE FAULT OF THE CONTRACTOR EXCEPTED) SHALL BE REPAIRED AND REPLACED BY THE CONTRACTOR WITHIN ONE (1) YEAR PROMPTLY UPON NOTIFICATION FROM THE OWNER AND WITHOUT COST TO THE OWNER. THIS GUARANTEE PROVISION SHALL APPLY REGARDLESS OF WHETHER OR NOT SUCH DEFECTIVE WORKMANSHIP, MATERIALS, OR EQUIPMENT ARE LISTED IN THE OWNER'S FINAL PUNCH LIST. SHOULD ANY MATERIALS OR WORKMANSHIP THAT PROVE DEFECTIVE OF ISSUANCE OF NOTIFICATION BY THE FINDING ALL ITEMS UNDER THIS CONTRACT SUBSTANTIALLY COMPLETE AS TO QUALITY OF WORKMANSHIP AND MATERIALS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PROVISIONS AND MEASURES DURING CONSTRUCTION. WATERWORTH DESIGN OF CLEARWATER SHALL BE HELD HARMLESS FROM ANY CLAIM OF LIABILITY FROM INJURY OR LOSS FROM FAILURE TO EXERCISE SITE SAFETY RESPONSIBILITY. THE DESIGNER IS NOT RESPONSIBLE FOR HIS CONSULTANT'S ERRORS AND COMMISSIONS AND CLAIMS CANNOT BE BROUGHT UPON WATERWORTH DESIGN OF CLEARWATER FOR SUCH ERRORS.
- THESE DOCUMENTS ARE DIAGRAMMATIC IN NATURE AND IN SOME CASES ARE BASED ON MINIMAL DRAWINGS PROVIDED BY THE OWNER. AS-BUILTS HAVE NOT BEEN PERFORMED AND THE EXISTING CONDITIONS HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL VERIFY INTERIOR OVERALL DIMENSIONS AND ANY OTHER ITEMS THAT COULD IMPACT THE CONSTRUCTION AND LAYOUT OF THE SPACE PRIOR TO START OF CONSTRUCTION. ALL EXISTING SYSTEMS SHALL BE REVIEWED FOR APPROPRIATENESS AND COST EFFECTIVE DESIGN. ANY ERRORS, OMISSIONS, OR VALUE ENGINEERING SUGGESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.



SITE PLAN
 SCALE: 1" = 15'

PROTECTION OF OPENINGS
 REFER TO R301.2.1.2, FBC 2023 (8TH ED.)

LANDSCAPE NOTE
 ALL SOO, SIDEWALK, CURB AND SPRINKLER DAMAGE, IF ANY, WITHIN THE CITY'S RIGHT-OF-WAY SHALL BE REPAIRED/REPLACED PRIOR TO BUILD'G FINAL INSPECTION (S).

THIS STRUCTURE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AN 'UNDER CONSTRUCTION' ELEVATION CERTIFICATE IS REQUIRED FOR THE SLAB INSPECTION.

DO NOT SCALE DRAWINGS

BUILDING DATA

1. BUILDING TYPE	V-B
2. WIND VELOCITY (MPH)	145
3. RISK FACTOR	2
4. EXPOSURE CATEGORY	D
5. FLOOD ZONE	AE

APPLICABLE CODES:

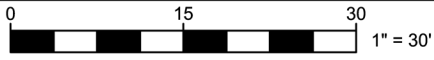
- 2023 FLORIDA EXISTING BUILDING CODE (8TH ED)
- 2023 FLORIDA RESIDENTIAL BUILDING CODE (8TH ED)
- 2023 FLORIDA BUILDING CODE (8TH EDITION)
- 2023 FLORIDA PLUMBING CODE (8TH ED)
- 2023 FLORIDA MECHANICAL CODE (8TH ED)
- 2023 FLORIDA FUEL GAS CODE (8TH ED)
- 2023 FLORIDA FIRE PREVENTION CODE (8TH ED)
- 2023 FLORIDA ACCESSIBILITY CODE (8TH ED)
- 2023 FLORIDA ENERGY CONSERVATION CODE (8TH ED)
- NATIONAL ELECTRIC CODE 2020 (NFPA 70E)

SHEET INDEX

- A - 1 GENERAL NOTES & SPECIFICATIONS
- A - 2 EXISTING 1ST, 2ND, 3RD FLOORS & DEMOLITION PLANS
- A - 3 FLOOR ROOF FRAMING PLANS & SECTIONS
- A - 4 ELEVATIONS, ELECTRICAL PLAN & DETAILS

CONFIDENTIAL PROPRIETARY DESIGNS AND CONCEPTS

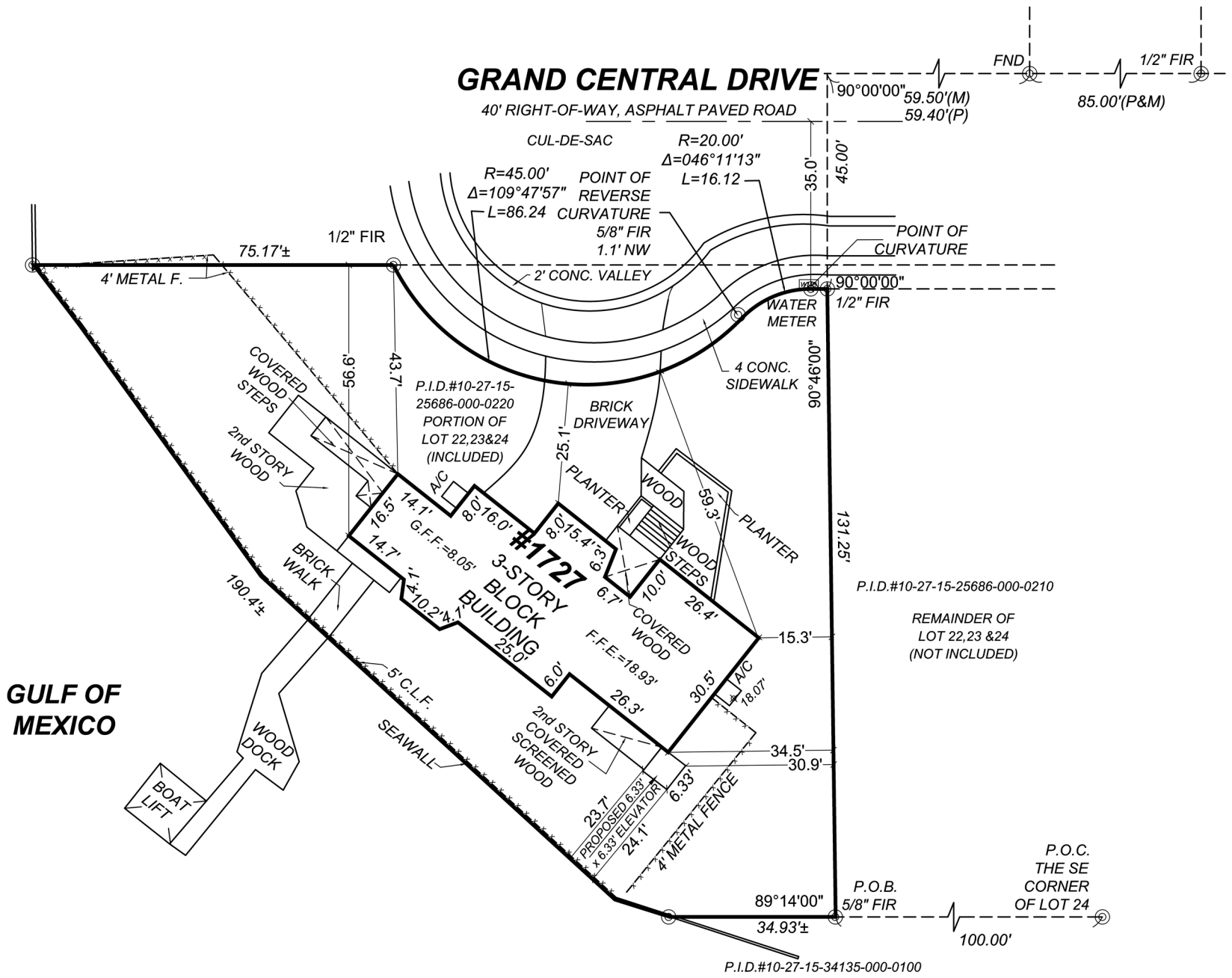
THE DESIGNS AND CONCEPTS ILLUSTRATED HEREIN ARE THE CONFIDENTIAL PROPERTY OF WATERWORTH DESIGN. UPON COMPLETION OF THE DEVELOPMENT CONTRACT AGREEMENT BETWEEN THE CLIENT AND WATERWORTH DESIGN AND PAYMENT FOR DESIGN SERVICES, THESE DESIGNS AND CONCEPTS WILL BECOME THE PROPERTY OF THE CLIENT FOR USE UNDER THE TERMS OF THE CONTRACT AGREEMENT. UNTIL SUCH TIME THE USE OF THESE DRAWINGS, ILLUSTRATIONS, SPECIFICATIONS AND COPIES THEREOF EXPRESSLY INTENDED FOR PURPOSE OF PROVIDING INFORMATION TO A PROSPECTIVE CLIENT OR WATERWORTH DESIGN. THESE DRAWINGS, ILLUSTRATIONS, SPECIFICATIONS AND COPIES SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE THAN SO STATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WATERWORTH DESIGN. SPECIFICALLY THESE DOCUMENTS MAY NOT BE USED TO EXPRESS OR CONVEY AN IDEA OR CONCEPT DESIGN TO ANY OTHER COMPANY UNDER ANY CIRCUMSTANCES WHATSOEVER. UPON REQUEST, ALL DRAWINGS, ILLUSTRATIONS, SPECIFICATIONS AND COPIES ARE TO BE RETURNED TO WATERWORTH DESIGN.



BOUNDARY SURVEY

LEGEND

- | | | | | |
|---------------------------------|--------------------------------|------------------------------|------------------------------|----------------------|
| A = ARC | LP = LIGHT POLE | (S) SANITARY MANHOLE | TV CABLE TELEVISION PEDESTAL | PALM TREE |
| A/C = AIR CONDITIONER | (M) = MEASURED | (D) DRAINAGE MANHOLE | SRVC SERVICE CABINET | TREE |
| AC. = ACREAGE | (P) = PLAT | (M) MANHOLE | VWCV VALVE COVER (WATER) | --- UTILITY EASEMENT |
| C.B. = CHORD BEARING | (R) = RECORD | △ SURVEY CONTROL POINT | VCI VALVE COVER (IRRIGATION) | -□- FENCE |
| CH = CHORD | (C) = CALCULATED | ○ CLEANOUT | WPB WIRE PULL BOX | --- GRADE BREAK |
| CLF = CHAIN LINK FENCE | O.R. = OFFICIAL RECORD | ○ BOUNDARY POINT FOUND | WMB WATER METER BOX | — BUILDING/BOUNDARY |
| CONC = CONCRETE | P.B. = PLAT BOOK | □ FOUND CONC. MONUMENT | HYDRANT | |
| DI = DRAINAGE INLET | P.O.B. = POINT OF BEGINNING | ○ GT GREASE TRAP | UTILITY POLE | |
| EL. = ELEVATION | P.O.C. = POINT OF COMMENCEMENT | ☀ LIGHTPOLE | ELECTRIC TRANSFORMER | |
| EP = EDGE OF PAVEMENT | P.PIPE = PINCHED PIPE | ⊗ GAS VALVE | ○#○ VALVE (BACKFLOW) | |
| F.F. = FINISHED FLOOR ELEVATION | PG. = PAGE | W WATER VALVE (POTABLE) | ● SINGLE SUPPORT SIGN | |
| FCIR = FOUND CAPPED IRON ROD | PP = POWER POLE | WR WATER VALVE (NON-POTABLE) | ● MULTI SUPPORT SIGN | |
| FCM = FOUND CONCRETE MONUMENT | R = RADIUS | ⊗ SANITARY VALVE | P PROPERTY LINE | |
| FIR = FOUND IRON ROD | R/W = RIGHT OF WAY | ⊗ VALVE | ℄ CENTER LINE | |
| FOEP = FOUND OPEN END PIPE | S.F. = SQUARE FEET | T TELEPHONE PEDESTAL | △ DELTA | |
| GAR. EL. = GARAGE ELEVATION | SCIR = SET 1/2" IRON ROD #5545 | E ELECTRIC PEDESTAL | ⊠ COLUMN | |
| HYD = HYDRANT | UP = UTILITY POLE | | | |



LEGAL DESCRIPTION:

SEC 10, TWP 27S, RGE 15E

A PORTION OF LOTS 22, 23 AND 24, AND A FORMER RIGHT OF WAY, LYING IN EL-NIDO SUBDIVISION, ACCORDING TO MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 10, PAGE 1, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, FURTHER DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 24 FOR A POINT OF REFERENCE; THENCE WESTERLY ALONG THE SOUTH LINE OF SAID LOT 24, 100.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE WESTERLY TO THE HIGHWATER MARK OF THE GULF OF MEXICO; THENCE NORTHERLY ALONG THE AFORESAID HIGH WATER MARK TO THE SOUTHRIGHT OF WAY LINE OF GRAND CENTRAL DRIVE; THENCE EASTERLY ALONG THE SAID SOUTH RIGHT OF WAY LINE OF GRAND CENTRAL DRIVE TO A POINT 1190.60 FEET FROM THE NORTHEAST CORNER OF LOT 1, IN SAID EL-NIDO SUBDIVISION; THENCE 86.24 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 45.00 FEET, A CHORD OF 73.63 FEET AND A CENTRAL ANGLE OF 109 DEGREES 47 MINUTES 57 SECONDS, THENCE 16.12 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 20.00 FEET, A CHORD OF 15.69 FEET, AND A CENTRAL ANGLE OF 46 DEGREES 11 MINUTES 13 SECONDS, THENCE EASTERLY 3.46 FEET; THENCE SOUTHERLY 131.25 FEET TO THE POINT OF BEGINNING.

PARCEL NO: 10-27-15-25686-000-0220

SUBJECT TO SETBACKS, EASEMENTS AND RESTRICTIONS OF RECORD

CERTIFIED PARTIES:
LORRAINE FEDORISIN

SURVEYOR NOTES:

- ALL EASEMENTS ARE FOR UTILITY AND OR DRAINAGE UNLESS OTHERWISE NOTED.
- THIS SURVEY IS ONLY FOR THE USE OF THE PARTIES THAT ARE BEING CERTIFIED TO.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- THE BEARINGS SHOWN HEREON ARE BASED ON RECORD PLAT INFORMATION.
- CALCULATED INFORMATION IS BASED ON (A) CONCEPTUAL RECREATION OF PLAT INTENT, (B) INFORMATION REQUIRED TO SET RECORD CORNERS, & OR (C) COMPILED DATA FROM SURROUNDING PLATS, DEEDS, AND CERTIFIED CORNER DOCUMENTS.
- DIMENSIONS ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.
- THIS DRAWING DOCUMENTS THE BOUNDARIES AND IMPROVEMENTS AS THEY EXISTED 05/09/2025. THE SURVEYOR MAKES NO WARRANTY, WRITTEN OR OTHERWISE, AS TO THE ACCURACY AND/OR DISPOSITION OF THE BOUNDARIES BEYOND THAT DATE.
- THE SURVEYOR ACCEPTS NO LIABILITY FOR CONSTRUCTION, ADDITIONS, AND/OR IMPROVEMENTS HEREAFTER ERECTED.

FLOODPLAIN CERTIFICATION: ACCORDING TO THE F.I.R.M. MAP, COMMUNITY PANEL NUMBER: 12103C/0018/H DATED: 08/24/2021. THIS PROPERTY APPEARS TO BE IN FLOOD ZONE "AEVE" AND THE BASE 100 YEAR FLOOD ELEVATION IS 12'13" ABOVE MEAN SEA LEVEL.

JOB #	1727	REVISIONS:
FIELD DATE	03/23/2024	03/26/2024
SCALE	1" = 30'	05/09/2025
DRAWN BY	E.I.	
CHECKED BY	M.B.F.	

MOHAMMAD B. FAR
3152 LITTLE ROAD #333,
TRINITY, FLORIDA 34655

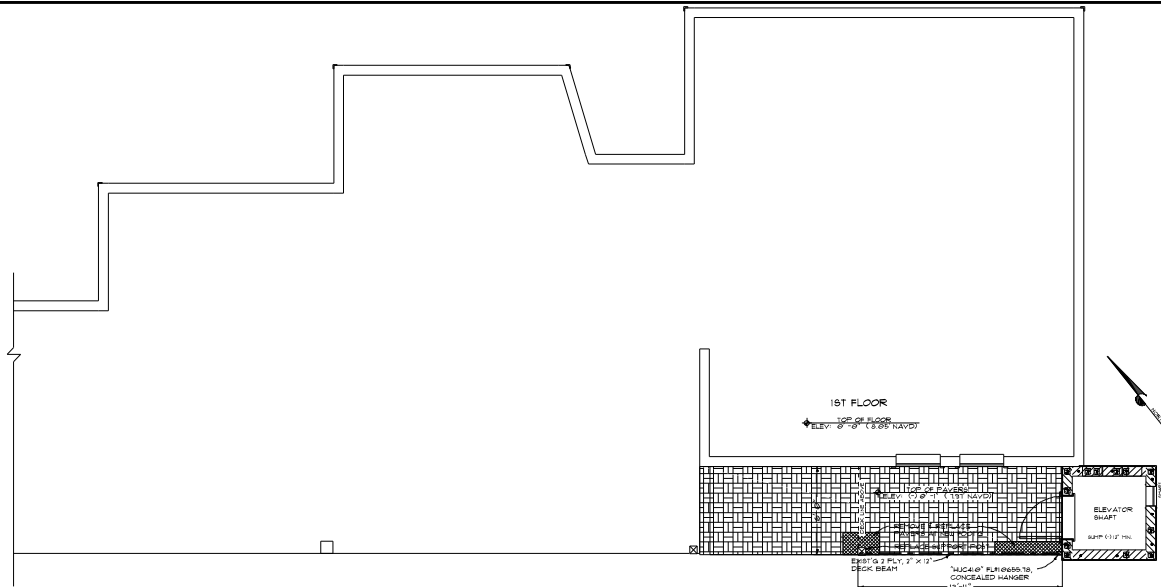
PHONE: (727) 375-1740 FAX: (727) 375-1741
E-MAIL: MOHAMMADBFAR@AOL.COM

This certifies that a survey of this legal described hereon was made under my supervision and that the survey complies with the Standard and Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 5J-17 F.A.C. pursuant to Section 472.027, Florida Statutes. And, that the sketch hereon is true and accurate representation thereof to the best of my knowledge and belief, subject to notes and notations hereon. NOT VALID UNLESS SIGNED, DATED AND STAMPED WITH MY EMBOSSED SEAL. FOR REFERENCE ONLY.

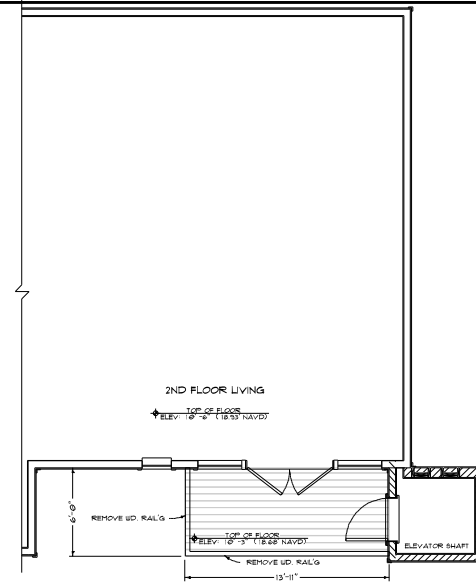
05/09/2025

DATE

MOHAMMAD B. FAR, P.L.S. #5545



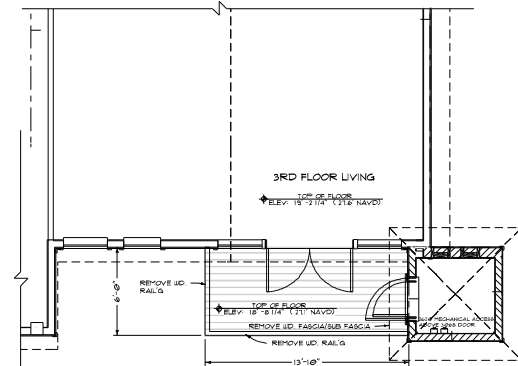
EXISTING 1ST FLOOR & DEMOLITION PLAN
SCALE: 1/4" = 1'



EXISTING 2ND FLOOR DECK & DEMOLITION
SCALE: 1/4" = 1'



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'



EXISTING 3RD FLOOR DECK & DEMOLITION
SCALE: 1/4" = 1'

SQUARE FOOTAGE CALCULATIONS	
BASE LIVING	2,144 SQ FT
UPPER STORY LIVING	769 SQ FT
ENCLOSED PORCH	194 SQ FT
UTILITY	160 SQ FT
EXTERIOR ELEVATOR	48 SQ FT
GAZON	1,842 SQ FT
TOTAL LIVING	2,914 SQ FT
TOTAL GROSS	5,268 SQ FT

WALL LEGEND	
---	EXIST'G WALL TO BE DEMOLISHED
---	EXIST'G WALL TO REPAIR
	NEW WALL
	CUT HOLE IN WALL

NOTE:
UP/LIFT HARDWARE IS SIMPSON IN PLAN
BUT, MAY USE EQUAL OR BETTER.

CONTRACTOR NOTE: PRIOR TO CONSTRUCTION

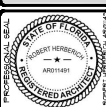
GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO STARTING ANY WORK. THE G.C. IS RESPONSIBLE FOR PROPER FIT AND INSTALLATION OF ALL WORK SHOWN ON THESE DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY FABRICATION OR INSTALLATION TECHNIQUES PROVIDED BY THE G.C. OR ANY OF HIS SUBCONTRACTORS.

- GENERAL CONSTRUCTION NOTES**
- CONTRACTOR TO ENSURE THAT ALL NEW CONSTRUCTION COMPLIES WITH CHAPTER 16 OF THE 2023 FLORIDA BUILDING CODE.
 - THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS PRIOR TO CONSTRUCTION. ANY QUESTIONS NEED TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - CONTRACTOR TO INSPECT EXISTING COMPONENTS, FRAMING MEMBERS, FLASHING AND SURROUNDING MATERIAL. NOTIFY OWNER OF ANY DEFECTS OR DAMAGE. CONTRACTOR TO INSURE CORRECT FLASHING SYSTEM IS PRESENT AND INSTALLED TO PROVIDE A WATER-TIGHT ASSEMBLY. ANY DEFECTS, DAMAGE OR CONCERNS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER.

- GENERAL DEMOLITION NOTES**
- CUTTING OF EXISTING CONSTRUCTION FOR THE INSTALLATION OF ALL WORK BY ALL TRADES, AND THE SUBSEQUENT PATCHING THEREOF, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. WHETHER THE WORK IS DONE BY HIS OWN FORCES OR NOT, CUTTING DAMAGE RESULTING FROM AND UNACCEPTABLE PATCHING SHALL BE REPAIRED AND/OR REPLACED TO AN ACCEPTABLE CONDITION APPROVED BY THE OWNER.
 - PATCHING MATERIAL SHALL MATCH EXISTING ADJACENT MATERIALS AS CLOSELY AS POSSIBLE IN COLOR, PATTERNS, AND/OR TEXTURE.
 - VERIFY ALL SYSTEMS ARE CAPABLE TO COMPLY WITH NEW PLANS AND SPECIFICATIONS. NOTIFY THE OWNER OF ANY INADEQUATE ELEMENTS THAT WOULD PREVENT THE PROPER OPERATION OF THE SYSTEM OPERATION AND/OR ITEMS THAT WOULD VIOLATE CODE.
 - ALL SALVAGE MATERIALS REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER. ALL NON-SALVAGED CONSTRUCTION MATERIALS AND DEBRIS FROM DEMOLITION WORK SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES.
 - PROTECT ALL EXISTING FINISHES, WALLS, FIXTURES, AND DEVICES TO REMAIN.
 - THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF WORK WITH THE OWNER. THE SCHEDULE SHALL BE REVISED AT THE WEEKLY JOB SITE MEETINGS.
1. CONTRACTOR TO MATCH EXISTING FINISHES TO ORIGINAL CONDITION AND TO TOUCH-UP FINISHES AS REQUIRED PRIOR TO NEW INSTALLATION.

REVISIONS	BY

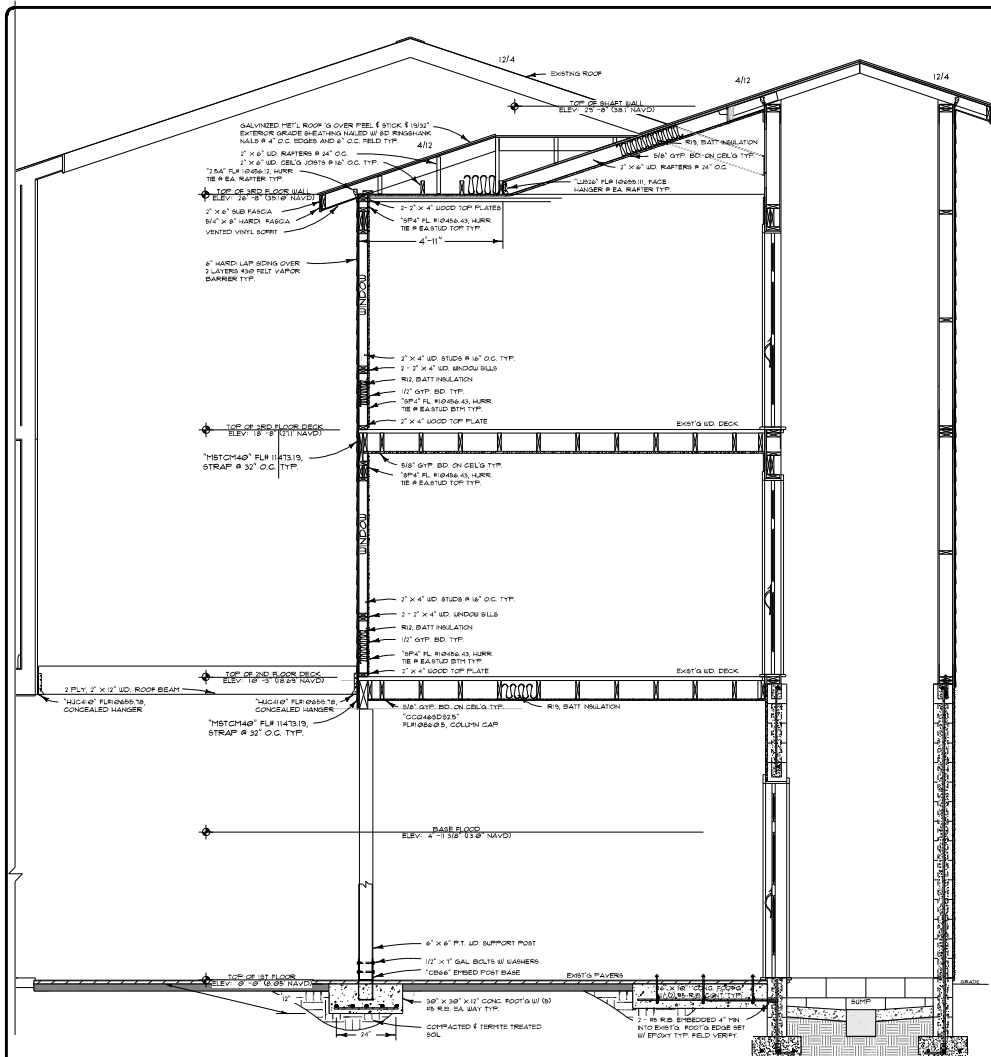
727.410.3070
ROBERT GERBERG - ARCHITECT
WAYNE F. WATERWORTH - DESIGNER
2520 CYPRESSLAND TR. SUITE 100, TARPON SPRINGS, FL 34689



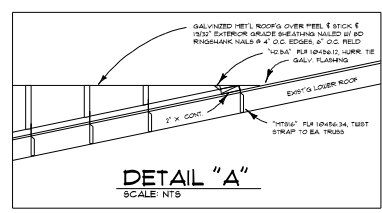
PROJECT FOR
LORAIN BEACH
1721 GRAND CENTRAL DRIVE
TARPON SPRINGS, FLORIDA 34689

DESIGN BY
WAYNE F. WATERWORTH
DATE
12.01.24
SCALE
1/4" = 1'

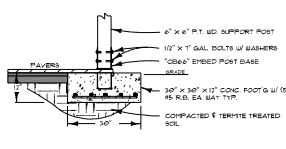
SHEET DESCRIPTION
EXISTING 1ST, 2ND & 3RD FLOORS & DEMOLITION PLANS
A-2
4



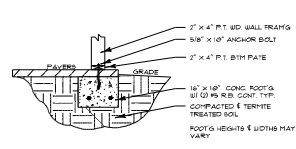
E A3
WALL SECTION
SCALE: 1/2" = 1'



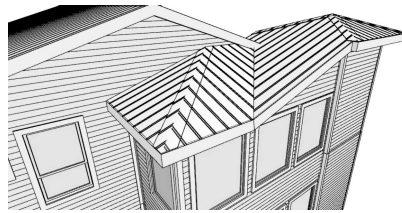
DETAIL "A"
SCALE: NTS



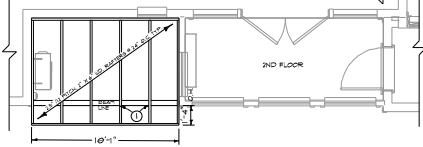
F18
TYP. WALL DETAIL
SCALE: NTS



F154
TYP. WALL DETAIL
SCALE: NTS



ROOF OVERVIEW
SCALE: NTS



WALKWAY ROOF FRAMING PLAN
SCALE: 1/4" = 1'

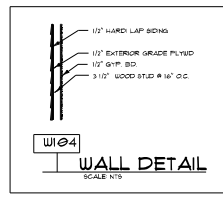
RAFTER NOTES:

- ALL ROOF RAFTERS 2" X 4" O.C.
- ALL ROOF FITCH 4/2
- ALL OVERHANGS 16"

ROOF LOAD SCHEDULE:

ROOF DEAD LOAD:	
DECKING & INSULATION	= 5 PSF
7" WOOD INSULATION	= 3 PSF
MECH/ELECTRICALS	= 4 PSF
TRUSSES	= 3 PSF
TOTAL ROOF DEAD LOAD	= 15 PSF
ROOF LIVE LOAD	= 20 PSF

RAFTER SPAN PROVIDED BY SOUTHERN FOREST PRODUCTS ASSOCIATION SPAN TABLE



W104
WALL DETAIL
SCALE: NTS

FOUNDATION NOTES:

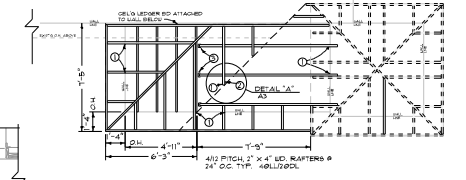
1. BULK/COMPACTED FILL MINIMUM BEARING CAPACITY 3,000 PSF.
2. CONCRETE MINIMUM SLOPE PER 4" - 8" SUMP.
3. REBAR SPLICES TO HAVE MINIMUM 3X OVERLAP.
4. MINIMUM 3" DEEP CONCRETE COVER OVER ALL STRUCTURAL REINFORCEMENT.

ROOF FRAMING LEGEND

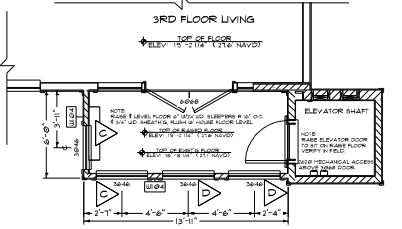
- 2" X 4" CELLS JOIST # 16" O.C. TYP.
- 2" X 4" RAFTER # 24" O.C. TYP.
- 2" X 4" RAFTERS 2" X 4" RAFTER # 24" O.C. TYP.

HURRICANE ANCHOR CHART

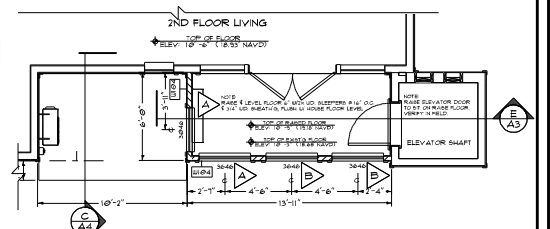
FLOOR TYPE	DESCRIPTION	SPACING	MIN. EMBEDMENT
1	100#	12" X 12"	12"
2	100#	12" X 12"	12"
3	100#	12" X 12"	12"
4	100#	12" X 12"	12"



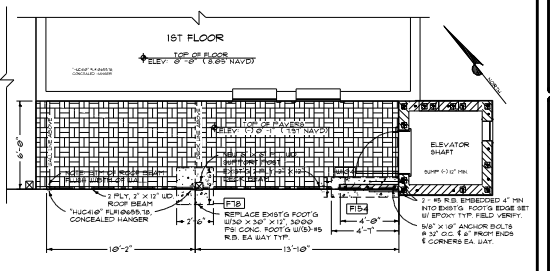
ROOF FRAMING PLAN
SCALE: 1/4" = 1'



3RD DECK FLOOR PLAN
SCALE: 1/4" = 1'



2ND DECK FLOOR PLAN
SCALE: 1/4" = 1'



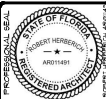
DECK 1ST FLOOR PLAN
SCALE: 1/4" = 1'

REVISIONS

NO.	DATE	BY

721.410.3070
ROBERT GERSBERG - ARCHITECT
WAYNE P. WATERWORTH - DESIGNER
1721 GRAND CENTRAL DRIVE
TARPOON SPRINGS, FL 34689

WD
WATERWORTH DESIGN

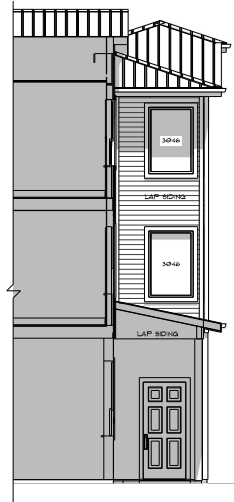
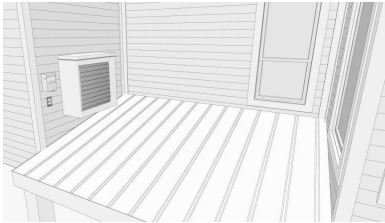


PROJECT FOR
LORAIN BEACH
1721 GRAND CENTRAL DRIVE
TARPOON SPRINGS, FLORIDA 34689

DATE
12.01.24
SCALE
1/4" = 1'

SHEET DESCRIPTION
FLOOR ROOF FRAMING PLANS & SECTIONS

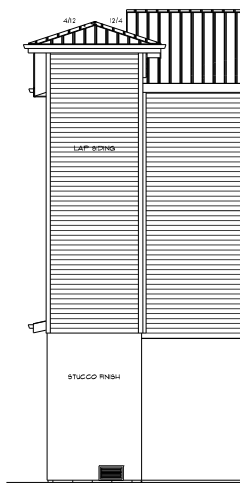
SHEET NO.
A-3
OF 4



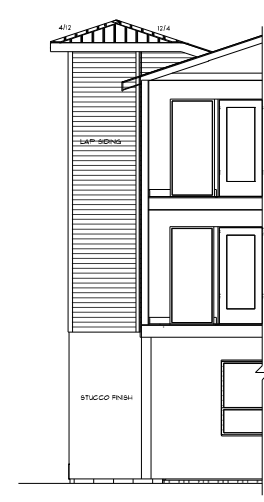
WEST ELEVATION
SCALE: 1/4" = 1'



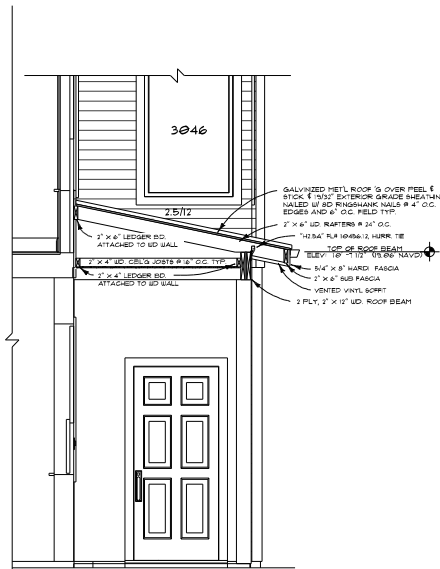
SOUTH ELEVATION
SCALE: 1/4" = 1'



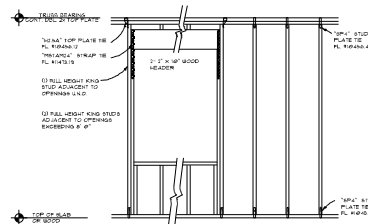
EAST ELEVATION
SCALE: 1/4" = 1'



NORTH ELEVATION
SCALE: 1/4" = 1'



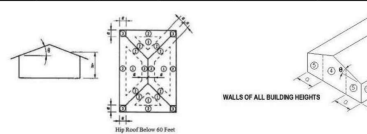
C WALL SECTION
SCALE: 1/2" = 1'



TYPICAL OPENING FRAMING DETAIL
SCALE: NTS

DESIGN PRESSURES FOR COMPONENTS & CLADDING

Building Information				Job Information			
Wind Velocity (mph)	100	Category	II	WALL OPENINGS			
Maximum Snow	18	Component Type	WALL OPENINGS	WALL OPENINGS			
Exposure Category	B	Component Type	WALL OPENINGS	WALL OPENINGS			
Windward Exposure	B	Component Type	WALL OPENINGS	WALL OPENINGS			
Mean Roof Slope (Degrees)	0	Component Type	WALL OPENINGS	WALL OPENINGS			
Roofing Material	AS/FL	Component Type	WALL OPENINGS	WALL OPENINGS			
Building Length (ft)	27.8	Component Type	WALL OPENINGS	WALL OPENINGS			
Roof Slope (Degrees)	0	Component Type	WALL OPENINGS	WALL OPENINGS			
Roofing Material	AS/FL	Component Type	WALL OPENINGS	WALL OPENINGS			
Roofing Material	AS/FL	Component Type	WALL OPENINGS	WALL OPENINGS			

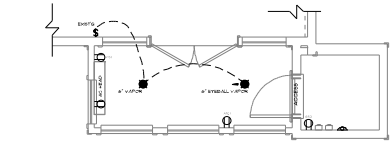


ELECTRICAL LEGEND

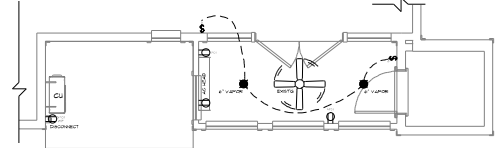
SYMBOL	DESCRIPTION
⊕	120V SINGLE RECEPTACLE
⊖	SINGLE POLE SWITCH
⊗	COLOR PANEL LIGHT
⊙	LED PANEL LIGHT FIXTURE
⊕	120V LED CEILING LIGHT FIXTURE
⊖	120V LED RECESSED LIGHT FIXTURE
⊕	120V LED BASE-COUL FIXTURE
⊕	SMOKE DETECTOR

ELECTRICAL SPECIFICATIONS

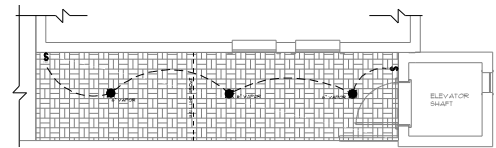
- GENERAL**
 - ALL MATERIALS SHALL BE NEW AND OF THE BEST GRADE AND BEAR A UL LABEL. ALL WORKMANSHIP SHALL BE AT THE HIGHEST STANDARDS.
 - ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE CURRENT BUILDING CODE, PREVALING LOCAL CODES, AND THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS.
 - ALL MATERIAL AND INSTALLATION TO BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND THIS ACCEPTANCE.
 - CONTRACTOR SHALL REPAIR ALL REWORK, PENETRATIONS MADE BY HIS WORKERS TO THE ORIGINAL CONDITION. PAYING PARTICULAR ATTENTION TO PRESERVATION OF THE ORIGINAL FINISH MATERIALS. CONTRACTOR SHALL REPAIR ALL THE REWORK PRIOR TO THE START OF ALL REFINISHING THROUGH FIRE RATED ASSEMBLIES (WALLS AND CEILING) FOR FLOORS OR EQUIVALENT FOR NEW CONSTRUCTION.
- WIRE AND CABLE**
 - ALL WIRE TO BE COPPER UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. MINIMUM SIZE TO BE #14 ALU.
 - COLOR CORDS AS FOLLOWS SHALL BE EMPLOYED:
 - VOLTAGE PHASE A - PHASE B - PHASE C - NEUTRAL - GROUND - BLUE - RED - WHITE
 - CONTRACTOR SHALL PROVIDE A GREEN GROUNDING CONDUCTOR IN ALL RACEWAYS EXCEPT SERVICE LATERALS INDICATED ON THE DRAWINGS OR NOT.
- WIRING DEVICES**
 - RECEPTACLES WITH MULTIPLE RECEPTACLES ON A CIRCUIT - 15 AMP, 120VOLT.
 - SINGLE RECEPTACLE ON A 20 AMP CIRCUIT - 20 AMP, 120V.
 - SINGLE POLE SWITCH - 20 AMP, 120V/125V VOLT.
 - SWITCHES, 3 WAY - 20 AMP, 120V/125V VOLT.
 - SWITCHES, 4 WAY - 20 AMP, 120V/125V VOLT.
 - SWITCHES, 2 POLE - 20 AMP, 120V VOLT.
 - SWITCHES, 3 POLE - 20 AMP, 120V VOLT.
 - SWITCHES, 4 POLE - 20 AMP, 120V VOLT.
 - ALL DEVICES SHALL BE WHITE UNLESS OTHERWISE SPECIFIED. EXPOSED RECEPTACLES SHALL BE IN 4" SQUARE ROSES WITH COVERS. COVERS COLOR SELECTION WITH COVER PRIOR TO ORDERING.



DECK ELECTRICAL 3RD FLOOR PLAN
SCALE: 1/4" = 1'



DECK ELECTRICAL 2ND FLOOR PLAN
SCALE: 1/4" = 1'



DECK ELECTRICAL 1ST FLOOR PLAN
SCALE: 1/4" = 1'

REVISIONS BY

727.410.3070

ROBERT GERSBERG - ARCHITECT
WAYNE P. WATERWORTH - DESIGNER
1721 GRAND CENTRAL DRIVE
TARPOON SPRINGS, FLORIDA 34689

WD
WATERWORTH DESIGN

STATE OF FLORIDA
REGISTERED ARCHITECT
WAYNE P. WATERWORTH
ARCHITECT
1721 GRAND CENTRAL DRIVE
TARPOON SPRINGS, FLORIDA 34689

PROJECT FOR
LORAIN BEACH
1721 GRAND CENTRAL DRIVE
TARPOON SPRINGS, FLORIDA 34689

DATE
12.01.24

SCALE
1/4" = 1'

DESCRIPTION
ELEVATIONS, ELECTRICAL PLAN & DETAILS

NO. **A-4**

OF 4



Beach pictures

1 message



Tue, Jun 10, 2025 at 3:30 PM

Sent from my iPhone

4 attachments



IMG_0125.jpg
119K



IMG_0128.jpg
120K



IMG_0126.jpg
100K



IMG_0127.jpg
108K



**Minutes
Board Of Adjustment
City of Tarpon Springs, Florida
April 23, 2025**

THE Board Of Adjustment OF THE CITY OF TARPON SPRINGS, FLORIDA, MET IN BOARD OF ADJUSTMENT IN THE CITY HALL AUDITORIUM/COMMISSION CHAMBERS, 324 E. PINE STREET, ON Wednesday, April 23, 2025 AT 6:30 PM WITH THE FOLLOWING PRESENT:

Chairperson Joanne Reich
Member Jacqui Turner
Alternate 1 Robert Wood
Alternate 2 Karl Fuchs

ABSENT/EXCUSED: Vice-Chairperson Timothy Grossman

ALSO PRESENT: Allie Keen, AICP, Principal Planner
Daniel P. Lewis, Board Attorney
Kimberly Creighton, Board Secretary

1. CALL TO ORDER

Chairperson Reich called the meeting to order at 6:30 P.M.

2. ROLL CALL

Board Secretary Creighton called the roll.

3. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS

Board Attorney Evans read the Quasi-Judicial Announcement and swore in all who wished to testify. He asked if there was any ex parte communication; there was none.

4. APPLICATION(S)

a. **#25-22 - Schenk**

Variance to allow a new home that is smaller than the minimum dwelling size in the MHP (Mobile Home Park) zoning district.

Location: 825 Paradise Blvd.

Staff:

Mrs. Keen provided background information and indicated that, based on the information available at the time this report was prepared, staff recommended approval of this request.

Applicant:

Clinton Mercison, 2925 12th Avenue N, St. Petersburg, noted that he was the general contractor and that the shipping container was new and that it would be built in St. Petersburg, but that the deck and connections would be built onsite.

Public

Gerri Leslie, 809 Francis Drive, noted that there was a homeowner's association, but this home was not part of it. She noted that she was not opposed to the variance, but she had questions.

5. APPROVAL OF MINUTES

a. March 26, 2025

MOTION: Member Turner
SECOND: Alternate 1 Wood

to approve the minutes from March 26, 2025

Vote on Motion – Upon roll call vote, the motion as follows:

Yes: Alternate 2 Fuchs
Alternate 1 Wood
Member Turner
Chairperson Reich
No: None

6. BOARD AND STAFF COMMENTS

Mrs. Keen noted that she wanted to show her appreciation to this board for the positive way they conduct themselves.

Ms. Reich read the proclamation given to the board chairs for volunteer appreciation month.

7. ADJOURNMENT

Chairperson Reich adjourned the meeting at 07:02 PM.

Chairperson

***Secretary's Note:** The preceding are action minutes and are not the official meeting record.