



City of Tarpon Springs, Florida

Heritage Preservation Board
324 East Pine Street
Tarpon Spring, Florida 34689
(727) 938-3711

<http://www.ctsfl.us/agenda.htm>

**REGULAR SESSION
AGENDA
MONDAY, JULY 6, 2026
6:30 PM - CITY HALL AUDITORIUM**

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENTS

4. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS

5. APPLICATION(S)

- a. #26.39 Pawloski - Certificate of Appropriateness for monument sign - 427 E. Tarpon Ave
- b. #26.55 - Boyle - Certificate of Appropriateness to construct a new car port - 330 Pineapple St
- c. #26.41 - Tarpon Registry - Certificate of Appropriateness to construct a two-story structure - 144 E Tarpon Ave

6. BOARD AND STAFF COMMENTS

7. ADJOURNMENT

This meeting is open to the public. Any person who decides to appeal any decision of the Board with respect to any matter considered at this meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Tarpon Springs is committed to providing reasonable accommodation for access for the disabled. Anyone needing assistance regarding this meeting should contact the City Clerk's Office at (727) 938-3711, fax a written request to (727) 942-5619, or email a written request to cityclerk@ctsfl.us at least two days prior to the meeting. For further information regarding this meeting, please contact the Planning and Zoning Department at (727) 942-5611 or clanford@ctsfl.us



CITY OF TARPON SPRINGS
HERITAGE PRESERVATION BOARD
JULY 6, 2026
STAFF REPORT, June 26, 2026

Application No. / Project Title: 26.39 / Pawloski
Staff: Caroline Lanford, AICP CTP, FRA-RA
Principal Planner
Applicant / Owner: Melissa Pawloski, Applicant / 9200 49TH STREET LLC, Owner
Property Size: 14,797 square feet | \cong 0.33 acres
Current Zoning: SAP Special Area Plan, T4a Residential + Retail/Office
Character District: Downtown Gateway
Location / Parcel ID: 427 E Tarpon Avenue / 12-27-15-90000-000-0180
Architectural Type/District Status: Craftsman / Contributing

BACKGROUND SUMMARY:

Florida Master Site File (FMSF) 8PI11891 notes this circa 1910 two-story residence features a steep roof pitch and wide eaves with exposed rafter tails, typical of the Craftsman style. The building has had some alterations, such as unsympathetic window replacement and enclosure of the east side porch. However, the majority of architectural details and the overall historic massing have been retained, preserving the structure’s historical significance.

The applicant is seeking a Certificate of Appropriateness to construct a monument sign on the subject property.

PRELIMINARY STAFF RECOMMENDATION:

Staff recommends **approval** for project, with the following condition:

1. The Certificate of Appropriateness will expire in three (3) years if a building permit has not been issued for the project.

HISTORIC DISTRICT CONSIDERATIONS:

1. When considering this application, the Heritage Preservation Board (HPB) is encouraged to refer to the DRGM, especially 1, 5, and 86. The DRGM can be accessed at the following link:
<https://www.ctsfl.us/DocumentCenter/View/639/Historic-District-Design-Review-Guidelines-Manual-PDF?bidId=>

REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROVAL

Pursuant to Section 109.01, Standards for Review:

- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.



(B) In reviewing an application for a Certificate of Approval, the Board shall consider the following criteria:

(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.

ANALYSIS: The height and width of the proposed sign is consistent with adjacent contributing structures.

(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

ANALYSIS: Not applicable.

(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.

ANALYSIS: The proposed sign would slightly alter the historic streetscape and change the relationship between open space and the street. The proposed sign conforms to standards and is similar to signs at other properties in the immediate vicinity.

(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.

ANALYSIS: Not applicable.

(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.

ANALYSIS: Not applicable.

(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.

ANALYSIS: Not applicable.



(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.

ANALYSIS: Not applicable.

(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.

ANALYSIS: Not applicable.

(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

ANALYSIS: The following standards are applicable to this project:

(9) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.

ANALYSIS: The proposed sign complies with relevant sections of the code and the Comprehensive Plan.

(11) The impact upon archaeological sites shall preserve the integrity of the site.

ANALYSIS: No known archaeological sites will be impacted.

PUBLIC CORRESPONDENCE:

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. Staff has not received any responses to these notices.

ATTACHMENTS:

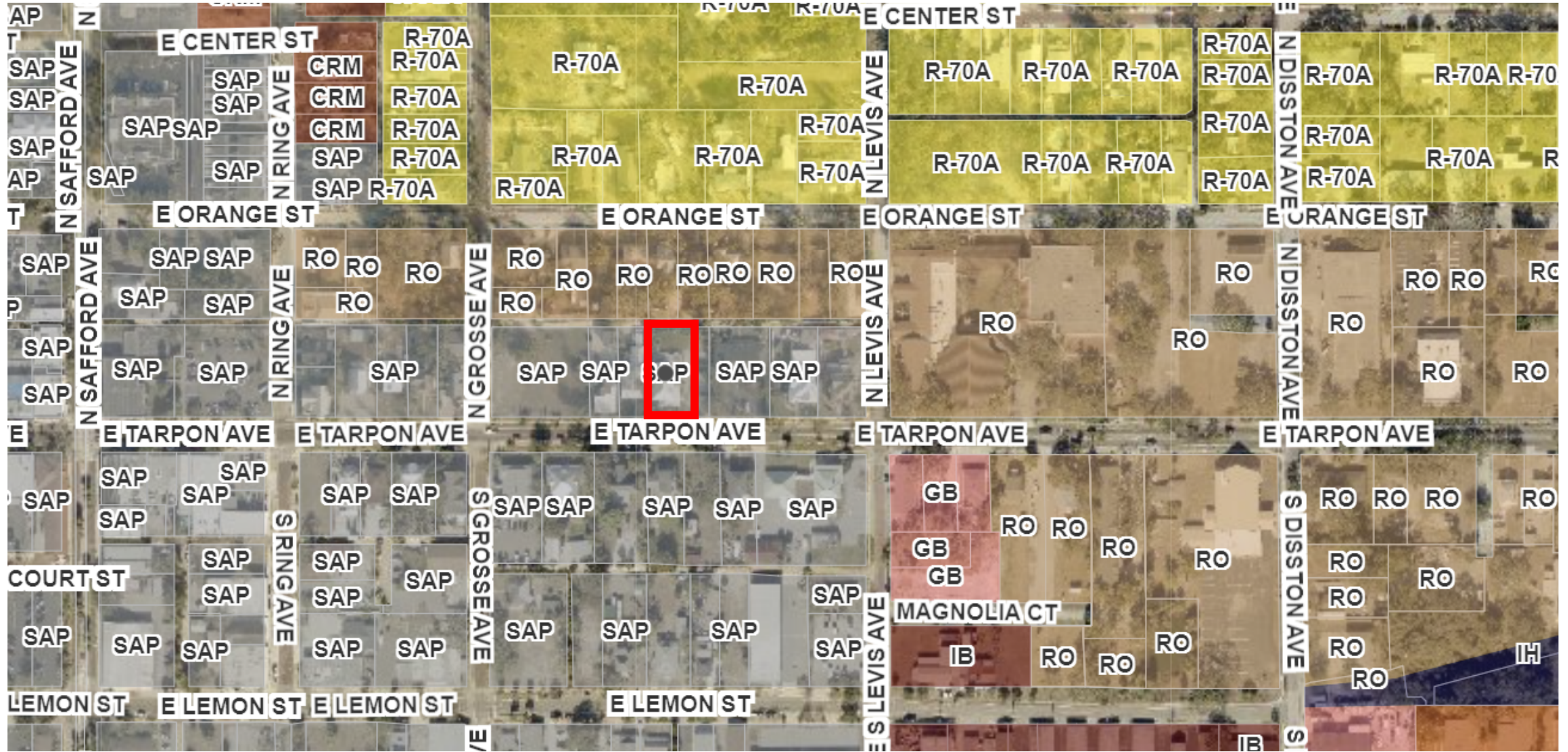
1. Slide Presentation
2. FMSF 8PI11891
3. Application and supporting materials

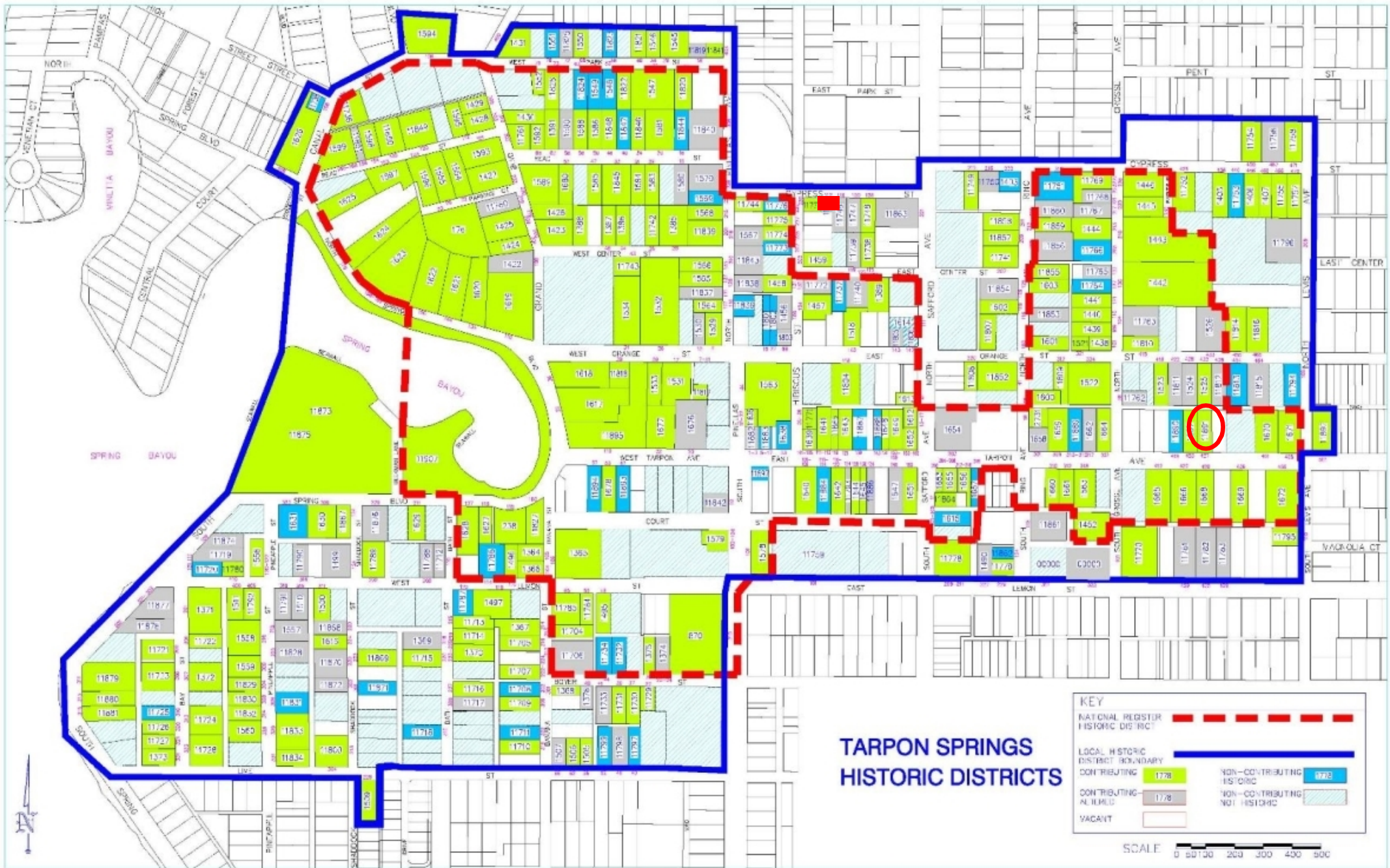
PAWLOSKI APPLICATION #26.39

Heritage Preservation Board, July 6, 2026



LOCATION AND LAND USE CONTEXT





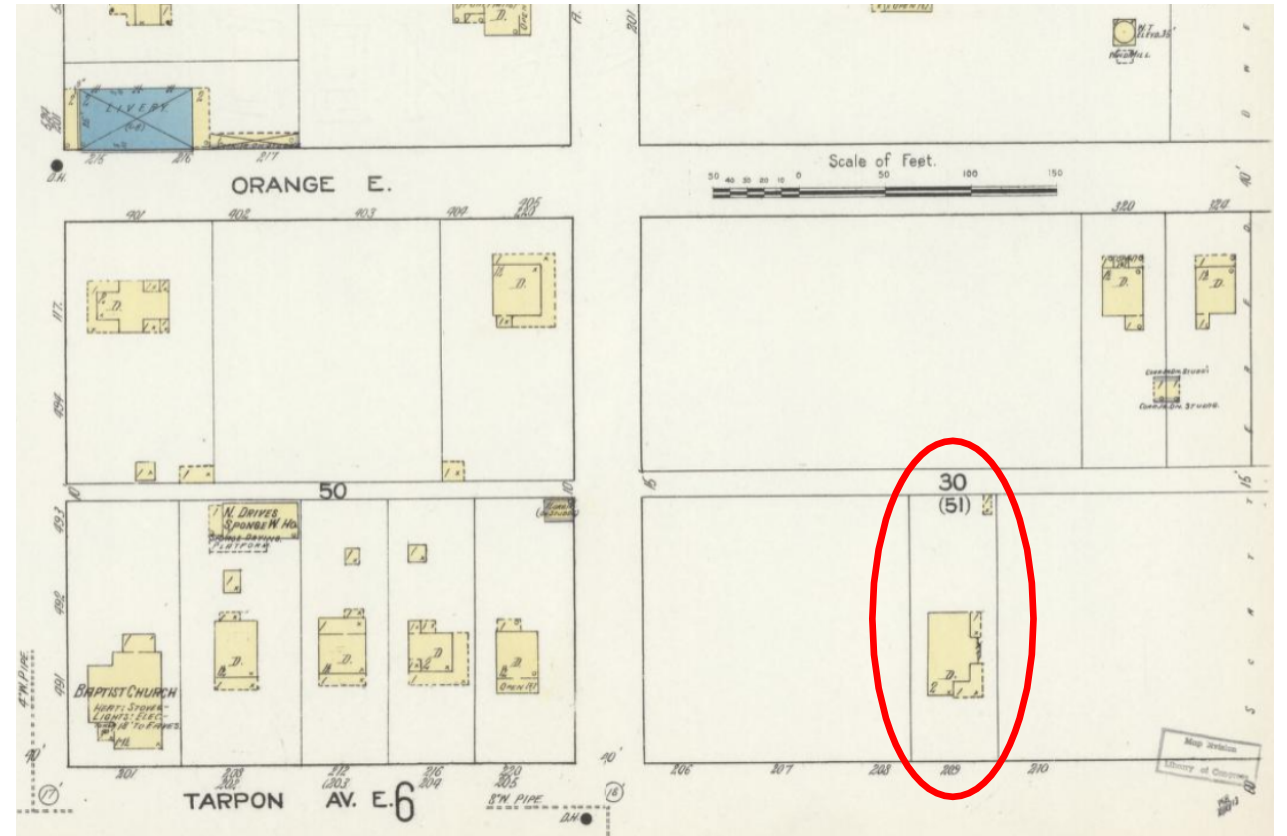
PROPERTY INFORMATION

- Lot Size: 14,797 square feet
- Current Zoning: T4a Residential + Retail/Office
- Location / Parcel ID: 427 E Tarpon Ave/ 2-27-15-90000-000-0180
- Architectural Type/Style: Craftsman
- District Status: Contributing
- Florida Master Site File: 8PI1441
- Owner / Applicant: Melissa Pawloski, Applicant / 9200 49TH STREET LLC, Owner

REQUEST

Certificate of Appropriateness to:

- Construct a monument sign



1919 SANBORN

427 E TARPON AVE – FLORIDA MASTER SITE FILE



427 E TARPON AVE – TARPON AVENUE FAÇADE



427 E TARPON AVE – TARPON AVENUE FAÇADE



427 E TARPON AVE – EAST CONTEXT



427 E TARPON AVE – EAST CONTEXT



427 E TARPON AVE – WEST CONTEXT



427 E TARPON AVE – TARPON AVE SIGN LOCATION



427 E TARPON AVE – PROPOSED PROJECT

SIGNAGE DESIGN SHEET

Blue Bayou Inn - Monument Design Concept #1
Double-Sided, Non-Illuminated w/ "Tapered Columns"

DESCRIPTION:

- Double-sided, non-illuminated Aluminum fabricated Main ID cabinet w/ typical internal aluminum frame, painted white w/ digital print graphics
- **BLUE BAYOU:** 45.7"W x 9.3"H x 3/8"D Acrylic laser-cut FCO letters mounted flush to each face
- **VACANCY/NO VACANCY:** 12"W x 8"H White removeable slider panel, one side digitally printed with red "NO" & mounted to face on clear Zip tracks to allow flipping
- (2x) tapered aluminum column accents on each side of Main ID cabinet, painted white w/ medium stucco texture
- 3" square tube trim, painted white, applied to each face approx. 10.5" from bottom, painted white
- Lower 10.5" of each face painted per color schedule
- Auger footer installation and steel pipe support per engineering recommendations



Photo of actual building



64" WIDE BY 84" HIGH = 37.3 SQ FT

This design features Tapered Column accents on each side to tie-in with the building's large white tapered columns

Note: Before finalizing your sign package, it is important to thoroughly review it for any errors or discrepancies. This includes checking for misspelled words, ensuring the design concepts are accurate, and verifying that all necessary information is included on the signs. It is also essential to confirm that the colors and fonts align with your preferences. Please note that Signsource cannot be held responsible for any misspellings, incorrect design concepts, inaccurate information, or discrepancies related to colors and fonts once the package has been approved by the client and production finalized. In the event that any signs require fabrication once more, a change order will be submitted for the necessary adjustments.

All ideas, designs, arrangements, and plans indicated by these drawings are property of Sign Source and/or Complete Sign Solutions and are created for rendering, example and approval use only. The designs and plans are not to be used nor disclosed to any person, designer, or sign company for any purpose without the written consent by Sign Source / Complete Sign Solutions. Contractors shall verify and be responsible for all dimensions and conditions of the job. All shop details and deviations from the shown dimensions and conditions must be approved by Sign Source / Complete Sign Solution before proceeding with fabrication. All written dimensions shall take precedence over scaled dimensions.

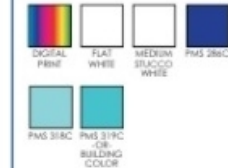
SIGNSource
YOUR COMPLETE SIGN SOLUTION

Blue Bayou inn

Approved By:
Date:

Project:
Blue Bayou Inn
427 E. Tarpon Avenue
Tarpon Springs, FL 34689

Colors:



Font(s): **Contralto Demi Bold**

City of Tarpon Springs Sign Code:
1 SF per Foot of Linear Frontage
Max 10'H, 10' setback from sidewalk, 15' driveway site triangle
LF: 35' = 35 SF Allowed

Actual Signage Area:
60"W x 84"H = 35 SF

Notes / Alerts for Client Review:

Client Rep: Gayle Risk
email: gayle@signsourcefla.com

Sign Source 727-736-3555 Office
2045 Lawson Road www.SIGNSOURCEFLA.com
Clearwater, FL 33743 Rene@signsourcefla.com



427 E TARPON AVE – SIGN LOCATION



STANDARDS FOR REVIEW – CERTIFICATE OF APPROPRIATENESS

- 1) New construction consistency.
- 2) Windows, doors and entries.
- 3) Neighborhood and district context.
- 4) Roof shape and texture.
- 5) Size and massing / shape.
- 6) Landscaping.
- 7) Architectural features.
- 8) Adherence to period of construction.
- 9) Adherence to Secretary's Guidelines.
- 10) Conformance with other City code requirements.
- 11) Impact upon archeological sites.

STANDARDS FOR REVIEW – ADHERENCE TO LAND DEVELOPMENT CODE

§ 186.04 - Signs Within the Historic Preservation District.

(A) The historic preservation board has the authority within the Historic Preservation District to permit up to a maximum of twice the amount of:

(1) Sign area or height as allowed in § 187.02-Nonconforming Uses in Residential Zones.

(2) § 189.00-On-Site Signs in Nonresidential Areas.

(B) Such review will utilize the Certificate of Approval process as detailed in Article VII. In addition, the Historic Preservation Board must review all signs which are illuminated from the interior through such process.

PER § 189.02 ALLOWANCE IS 24 TOTAL SQ FT



STANDARDS FOR REVIEW – ADHERENCE TO LAND DEVELOPMENT CODE

§ 189.01 - Freestanding Signs, Permit Required.

(A) All pole mounted signs shall have a minimum vertical clearance of four feet measured from grade. Pole mounted signs which do not have a minimum vertical clearance of eight feet shall be considered a ground mounted/monument sign for the purposes of calculating setbacks.

(B) Projection over or into a right-of-way shall be prohibited for all freestanding signs.

(C) One freestanding on-site advertising sign shall be permitted per parcel.

(D) The maximum sign height shall be ten feet within the Historic Preservation District and 20 feet in all other nonresidential zones.

(E) For pylon signs, multi-ylon signs, monument signs, monolith signs and pole signs with cladding an increase in height of up to 25% may be authorized by use of the following creative sign provisions. (1) The sign is a substantial aesthetic improvement to the site and has a positive visual impact on the surrounding area.

(2) The sign is of unique design and exhibits a high degree of thoughtfulness, imagination, and inventiveness.

STANDARDS FOR REVIEW – ADHERENCE TO LAND DEVELOPMENT CODE

§ 189.01 - Freestanding Signs, Permit Required. (Continued)

(F) The maximum allowable sign height for all other free-standing sign types shall be 20 feet.

(G) The minimum required setback for an unclad pole mounted sign shall be five feet from the adjoining street right-of-way line and ten feet from the side property line.

(H) The minimum required setback for a pylon sign, multi-pylon sign, **monument sign**, monolith sign and pole sign with cladding shall be as follows:

(1) Outside the required visibility triangle;

(2) Ten feet from the adjoining street right-of-way line; and

(3) Fifteen feet from the side property line.

(I) The minimum clearance from primary power lines as required by the National Electric Safety Code shall be maintained.

STANDARDS FOR REVIEW – ADHERENCE TO LAND DEVELOPMENT CODE

§ 189.02 - Freestanding Sign Area.

PER § 189.02 ALLOWANCE IS 45 TOTAL SQ FT

(A) Allowable square feet.

EXPAND

	Parcel Occupancy	Minimum ² (Ft ²)	Maximum ³ (Ft ²)
Historic Preservation District ¹	Single	16	.25 per l.f. of street frontage or 1 per l.f. of building frontage
	Multiple	25	same
Other Non-residential Zones	Single	32	.5 per l.f. of street frontage or 2 per l.f. of building frontage
	Multiple	50	same
	¹ Nonresidential zones within the Historic Preservation District		
	² Sign area (in square feet) per sign face		
	³ Sign area (in square feet) per sign face for each lineal foot of street frontage or building frontage		

(B) The maximum allowable sign area for a freestanding sign shall be as follows:

- (1) One hundred square feet per sign face for a single occupancy parcel.
- (2) One hundred fifty square feet per sign face for a multiple occupancy parcel.

(C) The maximum free-standing sign area may be increased by 25% through the use of creative sign provisions in [Section 189.01](#) (E). This increase may not be applied to an unclad pole sign type.

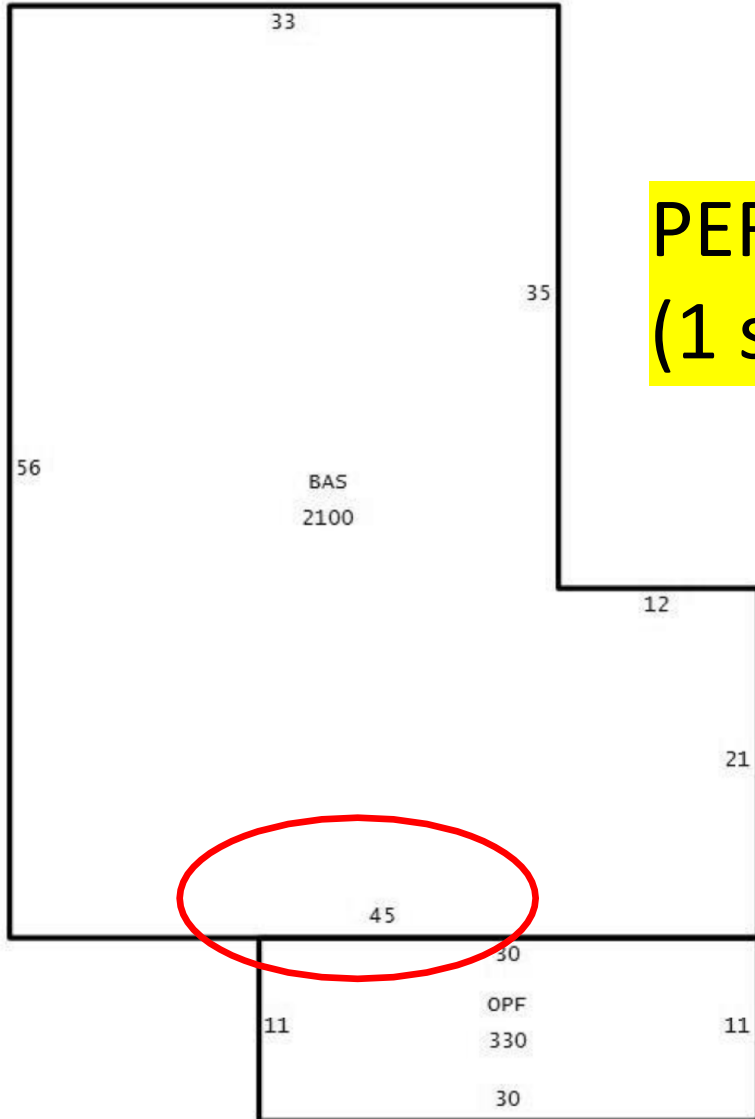
(D) For parcels with in excess of 50,000 square feet of gross floor area a ground mounted sign not exceeding 24 square feet of area per sign face which only includes the identification of the use or complex shall be permitted on the side street for parcels located on a corner. Additional sign area may not be combined with [§189.06](#) (A) 1.

(Ord. 90-10, passed 5-1-90; Am. Ord. 93-33, passed 10-19-93; Am. Ord. 94-20, passed 5-17-94; Am. Ord. 2020-06, passed 6-9-20; Am. Ord. 2020-39, passed 3-9-21)



STANDARDS FOR REVIEW – ADHERENCE TO LAND DEVELOPMENT CODE

PER § 189.02 ALLOWANCE IS 45 TOTAL SQ FT
(1 sq. ft. per linear foot of building frontage)





Signs and Awnings

Construction of signs is subject to the City's sign code. Each sign will be reviewed for location, total sign area, and aesthetic style or look of the sign. Monument signs, must have a solid base that is complementary to the streetscape, and the base should be masonry or stucco.

Guideline 85. Preserve Historic Signs

- Historic signs, such as those constructed directly into an architectural detail of the structure, should be maintained and should be restored if necessary.
- Restore or recreate historic signs where sufficient documentation exists if the restored or recreated sign would be in compliance with Tarpon Springs ordinances.

Guideline 86. Sign Placement

On most commercial buildings, a continuous brick ledge or corbelling is used to separate the second floor and above from the entry-level storefront below. This space is ideal for sign placement, as it was often created for this purpose. In some instances, newer buildings contain areas above the highest windows for signage.

- New signage shall be located on the flat, unadorned parts of a façade, such as the horizontal band between the storefront and second floor, or on windows, awning flaps, fascia, and frieze, or other areas where signs have been historically placed on the building.
- Decorative neon light banding is prohibited; however, neon lettering is permitted pursuant to sign regulations.
- Signs should be mounted to historic masonry buildings through the mortar joints rather than through masonry units wherever possible.

It is generally not appropriate to:

- obscure or hide significant historic features or details with signs. This includes windows, cornices, and architectural trim

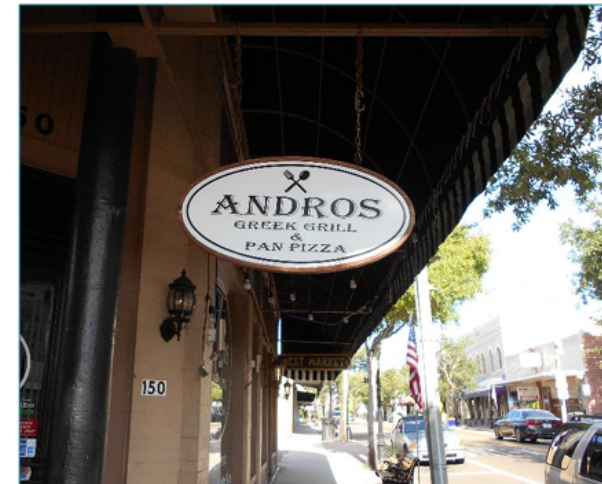


Figure 131: Signs in the Tarpon Springs Historic District.

PRELIMINARY STAFF RECOMMENDATION

Staff recommends **approval** of the project, with the following condition:

1. The Certificate of Appropriateness will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. No responses to the notices have been received.



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Consult Guide To Historical Structure Forms for detailed instructions

Site # 8P111891Recorder # 32Recorder Date 1/26/09Original Update Site Name 427 E Tarpon Avenue Other Names _____Project Name Historic Resources Survey of Tarpon SpringsHistoric Contexts Spanish-American War National Register Category Building

LOCATION and IDENTIFICATION

Address 427 E Tarpon AvenueVicinity of N side of Tarpon Ave in between Levis St. and Grosse AveCity Tarpon Springs County PinellasOwnership Private-individual Subdivision _____ Block # _____ Lot # _____

MAPPING

USGS Map TARPON SPRINGS Township 27S Range 15E Section 12Quarter _____ Qtr Qtr _____ Irregular Section UTM Zone 17Easting 327999 Northing 3114679 Land Grant UnknownLatitude _____ Longitude _____ Plat or Other Map Aerial Photographs

HISTORY

Architect/Builder Unknown Construction Date 1910 Circa Alterations Date c.1970 Type/Location aluminum siding, some windows replaced, c.1930 east side of porch enclosedAdditions Date _____ Type/Location _____Moved Original Location _____Use Original Private residence Use Present Commercial

DESCRIPTION

Style Craftsman Exterior Plan Rectangular Interior Plan Unknown Stories 2Structural System Wood frame Exterior Fabric Aluminum; StuccoFoundation Piers Foundation Materials Poured concrete Foundation Infill N/ANo. of Porches 1 Locations/Features SE corner, hipped roof, wraps 2 sides with oversized battered pier supports, pebble textureMain Entrance (stylistic details): French door under main porchOutbldgs. Number _____ Nature/Location (Describe below) _____Roof Type Hip Roofing Materials Metal tilesSecondary Structures Comments Not applicable Location _____Chimneys Number 1 Orientation N/A Location N/A Material Not applicableWood Windows Type DHS Light # 1/1, 6/6Metal Windows Type Sliding Light # _____Exterior Ornament rafter tails, wood surroundsCondition Good Surroundings Commercial

Narrative (general, interior, landscape, context; 3 lines only)

This structure features a steep roof pitch and wide eaves with exposed rafter tails.Archaeological Remains Present FMSF Archaeological Site Form Completed (if yes, attach)

Consult Guide To Historical Structure Forms for detailed instructions

RECORDER'S EVALUATION OF SITE

Individually Eligible for National Register? Yes No Likely, Need Information Insufficient Information Potential Contributor to Nat. Reg. District? Yes No Likely, Need Information Insufficient Information

Areas of Significance

Community planning & development

Summary of Significance

This resource is an example of residential architecture in Tarpon Springs during the Spanish-American War-era and is representative of the development of the City of Tarpon Springs. Although this building has undergone some minor alterations, the majority of architectural details remain and the overall historic massing is retained. Therefore, this building would be considered a contributing resource to the NRHP and Local Tarpon Springs Historic District.

DHR USE ONLY		OFFICIAL EVALUATIONS	DHR USE ONLY	
NR DATE ____/____/____	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no		Date	____/____/____
DELIST DATE ____/____/____	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info		Date	____/____/____
	LOCAL DESIGNATION: _____		Date	____/____/____
	Local office _____			
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p. 2)				

DOCUMENTATION

Research Methods Florida Site File for past architectural surveys; Florida Site File search; Local library; Tax records; Pedestrian; Sanborn maps

Bibliographic References _____

Location of Negatives Janus Research **Negative Numbers** Roll 2885, #58, Facing NE

RECORDER INFORMATION

Recorder Name Janus Research

Recorder Affiliation JANUS RESEARCH, 1107 N. Ward Street, Tampa, Florida 33607 Telephone 813-636-8200

- REQUIRED:**
1. USGS 7.5' MAP WITH STRUCTURES PINPOINTED IN RED
 2. LARGE SCALE STREET OR PLAT MAP
 3. PHOTO OF MAIN FACADE, PREFERABLY B&W, AT LEAST 3x5



SKETCH MAP





Location of 8PI11891
USGS Quadrangle: Tarpon Springs (1973 PR 1987)

Certificate of Appropriateness Form



CITY OF TARPON SPRINGS
PLANNING & ZONING DEPARTMENT
324 E. Pine Street, Tarpon Springs, FL 34689
(727) 942-5611 / planning@ctsfl.us

INSTRUCTIONS

Please complete this form fully and **DOWNLOAD (print button)** to submit in addition the [General Planning and Zoning Application](#). Applications must be submitted **DIGITALLY** through the [Planning and Zoning goPost portal](#).

Project Name*

Monument Sign

Project Location*

427 E Tarpon Ave Tarpon Springs, FL 34689

Type of Activity (Check all that apply)*

- | | |
|---|---|
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Relocation* |
| <input type="checkbox"/> Deck/Patio | <input type="checkbox"/> Renovation |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Driveway | <input checked="" type="checkbox"/> Signs |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Structural Addition |
| <input type="checkbox"/> Parking Lot | <input type="checkbox"/> Windows/Doors/Solar Panels |

***If Relocation, provide the following information:**

New Address / Location

Address / General Location

New Tax Parcel ID

Parcel ID from Pinellas County Property Appraiser

New Land Use

-- Select One --

Choices are Alphabetized

[Lookup Land Use](#)

New Zoning

-- Select One --

Choice are Alphabetized

[Lookup Zoning](#)

[Lookup Parcel ID](#)

Year Built*

1912

Architectural Style*

Craftsman

Porches*

Yes

No

Original Use*	Present Use*	Proposed Use*
Residential	Hotel/Motel	Hotel/Motel

Roof Type*	Roof Material*	Exterior Siding Material*
Gable	Metal	Wood

Previous Additions or Modifications*

Fence

Description of Proposed Work*

We would like to add a monument sign in the front of the Inn located out in front by Tarpon Ave.

For Relocation or Demolition

none

Describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible.

Heritage Preservation Board (HPB) Review Standards

Please note, in reviewing an application for a Certificate of Appropriateness, the Board must consider the standards outlined in LDC [Section 109.01\(B\)](#).

Electronic Signature Agreement*

By checking the "I Agree" box below, you agree and acknowledge that **1)** this form will not be signed in the sense of a traditional paper document, **2)** by signing in this alternate manner, you authorize your signature on this form to be valid and binding to the same force and effect as a handwritten signature, and **3)** the information included in and with this form is completely true and correct to the best of your knowledge.

I Agree

Electronic Signature*

Date*

Melissa Pawloski	5/8/2026
------------------	----------

Steps to Download Form

1. Click the '**Print Only**' button below.
2. Your form will open in a new tab.
3. **Right click** on your mouse and **select 'Print'**.
4. Choose to print to '**PDF**'.
5. Save the form in your desired location.

Need help? Give the Planning Department a call at [727-942-5611](tel:727-942-5611).

**Blue
bayou
inn sign**

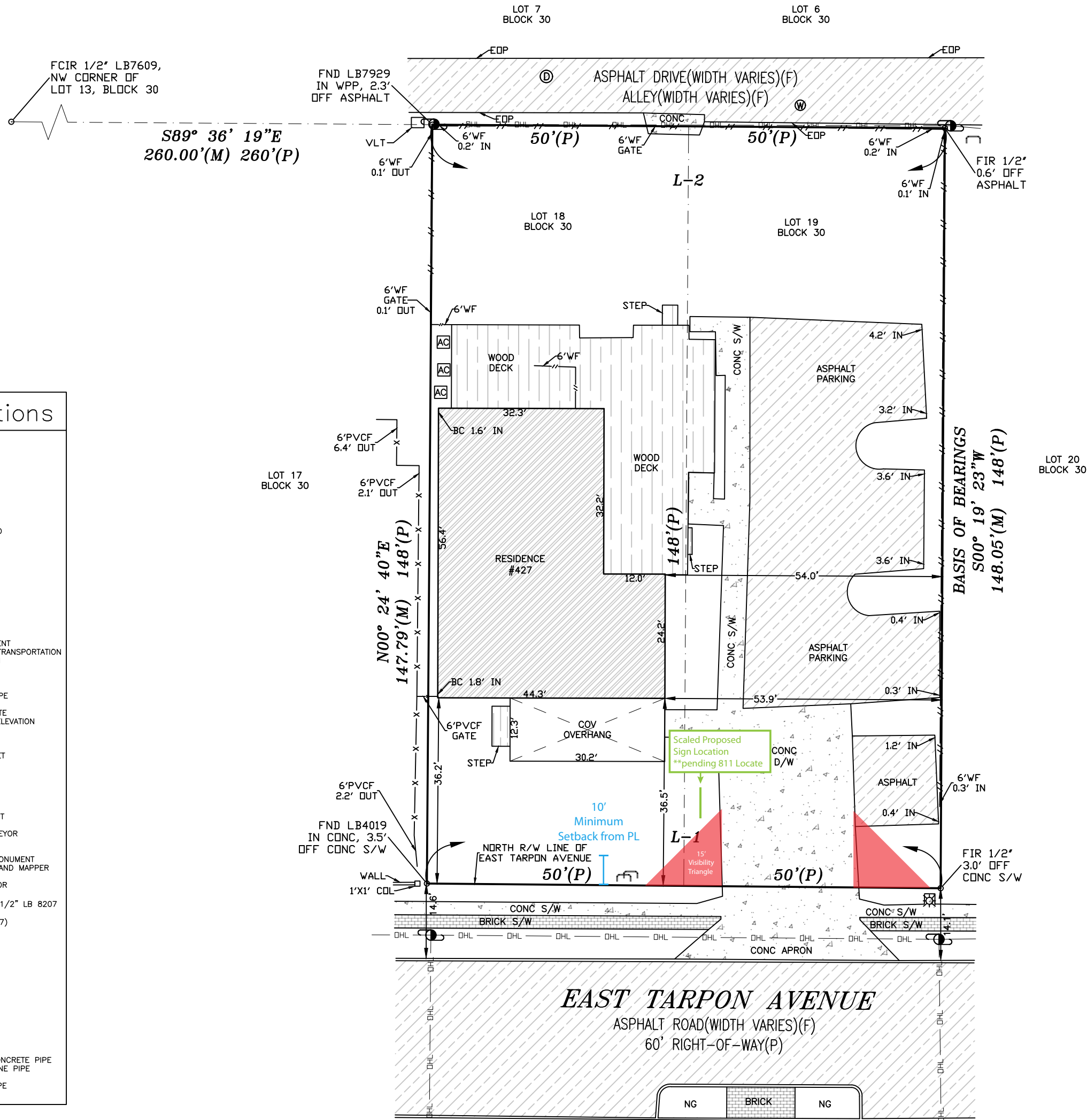
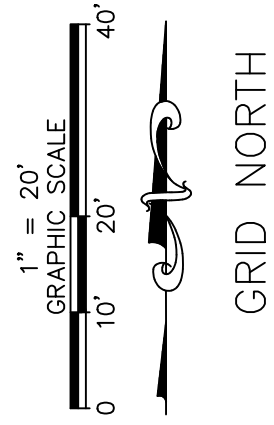
**TOW AWAY
ZONE**
UNAUTHORIZED VEHICLES
OR VESSELS WILL BE TOWED
AWAY AT OWNERS EXPENSE
24 HRS. A DAY 7 DAYS A WK.
BRADFORD'S TOWING LLC
727-938-5511

SECTION 12 - TOWNSHIP 27 SOUTH - RANGE 15 EAST
PINELLAS COUNTY - FLORIDA

BOUNDARY SURVEY

BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE EAST BOUNDARY LINE OF LOT 19, BLOCK 30, HAVING A GRID BEARING OF S00° 19' 23"W THE GRID BEARINGS AS SHOWN HEREON REFER TO THE STATE OF FLORIDA PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM, 1983 ADJUSTED 2013 (FLORIDA WEST ZONE)

ADDRESS:
427 EAST TARPON AVENUE
TARPON SPRINGS, FLORIDA 34689



Legend of Symbols & Abbreviations	
	AIR CONDITIONER
	BACKFLOW PREVENTER
	TEMPORARY BENCHMARK
	BOLLARD
	CENTER LINE
	CLEANOUT
	COVERED AREA
	DRAINAGE MANHOLE
	ELECTRIC BOX
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	GAS PUMP
	GAS VALVE
	GUY ANCHOR
	GRATE INLET
	HANDICAP PARKING
	LID (METAL)
	LIGHT POLE
	MITERED END SECTION
	MONITORING WELL
	PAINT MARK
	RECLAIMED WATER METER
	RECLAIMED WATER VALVE
	SEWER VALVE
	SANITARY MANHOLE
	SIGN
	SPOT ELEVATION
	STREET LIGHT BOX
	TELEPHONE BOX
	TRAFFIC SIGNAL BOX
	TRANSFORMER
	UTILITY POLE
	UTILITY RISER
	VERIZON BOX
	WATER METER
	WATER VALVE
	WELL
	YARD DRAIN
	YARD LIGHT
	NOT TO SCALE
(C)	GENERAL-CALCULATED
(F)	FIELD
(LW)	LEGAL DESCRIPTION
(M)	MEASURED
(P)	PLAT
ASP	ASPHALT
BC	BUILDING CORNER
BWF	BARBED-WIRE FENCE
CB	CHORD BEARING
CCR	CERTIFIED CORNER RECORD
COL	COLUMN
CONC	CONCRETE
CLF	CHAIN LINK FENCE
COV	COVERED
D/W	DRIVEWAY
EOP	EDGE OF PAVEMENT
EDW	EDGE OF WATER
EL	ELEVATION
EM	ELECTRIC METER
F-TYPE	F-TYPE CURB & GUTTER
FCIP	FOUND CAPPED IRON PIPE
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FND	FOUND NAIL & DISC
FPP	FOUND (FINCHED) IRON PIPE
FRRS	FOUND RAILROAD SPIKE
FX	FOUND X-CUT IN CONCRETE
GFCE	GARAGE FINISHED FLOOR ELEVATION
ILLEG	ILLEGIBLE
LL	LICENSED BUSINESS
MES	MITERED END SECTION
NOFS	NO CORNER FOUND OR SET
O/A	OVERALL
OHL	OVERHEAD UTILITY LINE
ORB	OFFICIAL RECORDS BOOK
PA	PROPERTY APPRAISER
PB	PLAT BOOK
PC	POINT OF CURVATURE
PCC	PERMANENT CONTROL POINT
PG	PAGE
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR AND MAPPER
R/S	REGISTERED LAND SURVEYOR
R/W	RIGHT-OF-WAY
R/W	SET CAPPED IRON ROD (1/2" LB 8207)
S.F.	SQUARE FEET
SND	SET NAIL & DISK (LB 8207)
S/W	SIDEWALK
TBM	TEMPORARY BENCHMARK
TOS	TOP OF SLOPE
TYP	TYPICAL
VLT	VAULT
WC	WITNESS CORNER
WF	WOOD FENCE
INV	UNDERGROUND PIPES:
CMP	PIPE INVERT
CPP	CORRUGATED METAL PIPE
DIP	DUCTILE IRON PIPE
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
HEPE	HIGH DENSITY POLYETHYLENE PIPE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE

LINE DATA:
L-1: N 89°28'29" W 100.08'(M) 100'(P)
L-2: S 89°37'27" E 99.89'(M) 100'(P)

- NOTES:
- THE BOUNDARY SURVEY AS SHOWN HEREON, WAS MADE WITHOUT BENEFIT OF ABSTRACT OF TITLE. THE UNDERSIGNED AND TERMINUS SURVEYING LLC, MAKES NO GUARANTEES OR REPRESENTATIONS REGARDING EASEMENTS, CLAIMS OF BOUNDARY LINE DISPUTES, AGREEMENTS, RESERVATIONS OR ANY OTHER SIMILAR MATTERS WHICH MAY APPEAR IN THE PUBLIC RECORDS OF THE LOCAL COUNTY COURTHOUSE.
 - THIS BOUNDARY SURVEY WAS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THIS BOUNDARY SURVEY DOES NOT DEPICT OWNERSHIP. THE PURPOSE OF THIS BOUNDARY SURVEY IS TO ESTABLISH THE PERIMETER BOUNDARY LINES OF THE LAND OR LANDS DESCRIBED IN THE LEGAL DESCRIPTION AS SHOWN ON THIS BOUNDARY SURVEY AND IS NOT TO ESTABLISH OWNERSHIP.
 - BOUNDARY SURVEYS BY NO MEANS REPRESENT A DETERMINATION ON WHETHER PROPERTIES WILL OR WILL NOT FLOOD. THE LAND WITHIN THE BOUNDARIES OF THIS BOUNDARY SURVEY MAY OR MAY NOT BE SUBJECT TO FLOODING. THE LOCAL COUNTY/CITY BUILDING DEPARTMENT HAS INFORMATION REGARDING FLOODING AND RESTRICTIONS ON DEVELOPMENT.
 - NO UNDERGROUND FOUNDATIONS, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
 - THERE ARE NO VISIBLE ENCROACHMENTS OTHER THAN SHOWN.
 - OWNERSHIP OF FENCES WERE NOT VERIFIED AT TIME OF SURVEY.
 - ALL MEASUREMENTS ARE IN FEET AND TENTHS, UNLESS OTHERWISE NOTED.
 - MEAN HIGH WATER LINE WAS NOT DETERMINED AT TIME OF SURVEY. (ONLY APPLICABLE WHEN ABUTTING BODIES OF WATER)

<p>LEGAL DESCRIPTION: (ORB 22278, PG 2439)</p> <p>LOT 18 AND 19, A RE-SUBDIVISION OF ALL OF BLK. 30 TARPON SPRINGS, FLA., ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 68, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA OF WHICH PINELLAS COUNTY WAS FORMERLY A PART.</p>	<p>FLOOD ZONE INFORMATION</p> <p>SUBJECT PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE(S) "X", ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY 120259 PANEL NUMBER 12103C0019H, EFFECTIVE 8/24/2021</p>
--	--

THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH IN CHAPTER SJ-17 FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

Michael P. Mooney 4/7/2023
MICHAEL P. MOONEY DATE
PROFESSIONAL SURVEYOR & MAPPER #3930
THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR & MAPPER.

CERTIFIED TO:
MELISSA PAWLOWSKI

2752 JASON STREET
TAMPA, FLORIDA 33619
(813) 681-4481
www.TerminusSurveying.com
FrontDesk@TeamTerminus.com

TERMINUS SURVEYING LLC.

COPYRIGHT 2023 BY TERMINUS SURVEYING, LLC CERTIFICATE OF AUTHORIZATION: LB #8207

JOB INFORMATION:
CREW CHIEF: BB
FIELD DATE: 4/6/2023
FIELD BOOK: E1 PAGE:115
DRAFTER: AMB
DRAWING DATE: 4/7/2023
CHECKED BY: JSM
JOB# 230335
REVISIONS
-
-
-



Blue Bayou Monument Concepts PR...

PDF - 416 KB



SIGNAGE DESIGN SHEET

Blue Bayou Inn - Monument Design Concept #1

Double-Sided, Non-Illuminated w/ "Tapered Columns"

DESCRIPTION:

- Double-sided, non-illuminated Aluminum fabricated Main ID cabinet w/ typical Internal aluminum frame, painted white w/ digital print graphics
- **BLUE BAYOU:** 45.7"W x 9.3"H x 3/8"D Acrylic laser-cut FCO letters mounted flush to each face
- **VACANCY/NO VACANCY:** 12"W x 8"H White removable slider panel, one side digitally printed with red "NO" & mounted to face on clear Zip tracks to allow flipping
- (2x) tapered aluminum column accents on each side of Main ID cabinet, painted white w/ medium stucco texture
- 3" square tube trim, painted white, applied to each face approx. 10.5" from bottom, painted white
- Lower 10.5" of each face painted per color schedule
- Auger footer installation and steel pipe support per engineering recommendations

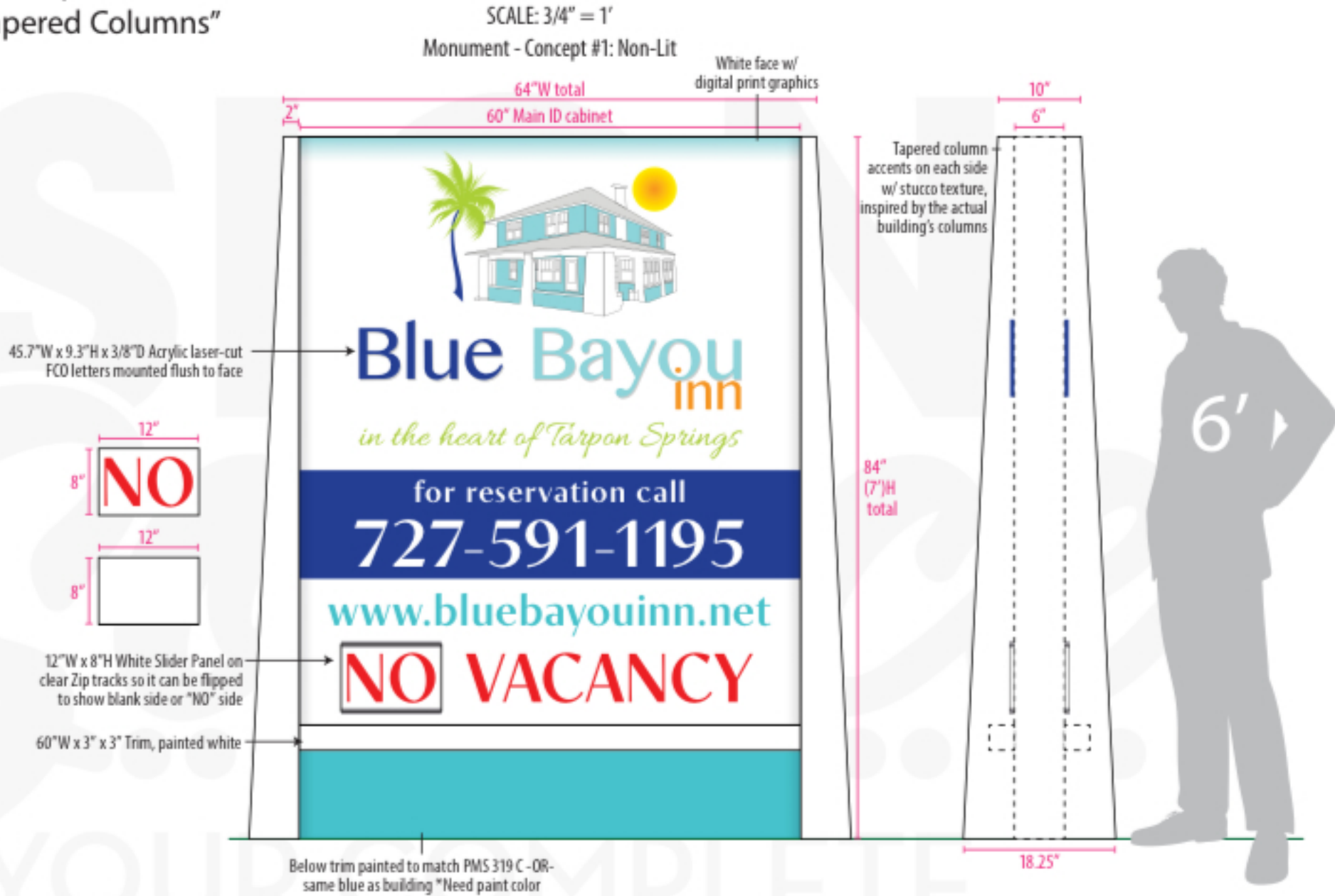


Photo of actual building



This design features Tapered Column accents on each side to tie-in with the building's large white tapered columns

Note: Before finalizing your sign package, it is important to thoroughly review it for any errors or discrepancies. This includes checking for misspelled words, ensuring the design concepts are accurate, and verifying that all necessary information is included on the signs. It is also essential to confirm that the colors and fonts align with your preferences. Please note that Signsource cannot be held responsible for any misspellings, incorrect design concepts, inaccurate information, or discrepancies related to colors and fonts once the package has been approved by the client and production finalized. In the event that any signs require fabrication once more, a change order will be submitted for the necessary adjustments.

All ideas, designs, arrangements, and plans indicated by these drawings are property of Sign Source and or Complete Sign Solutions and are created for rendering, example and approval use only. The designs, and plans are not to be used nor disclosed to any person, designer, or sign company for any purpose without the written consent by Sign Source / Complete Sign Solutions. Contractors shall verify and be responsible for all dimensions and conditions of the job. All shop details and deviations from the shown dimensions and conditions must be approved by Sign Source/ Complete Sign Solution before proceeding with fabrication. All written dimensions shall take precedence over scaled dimensions.

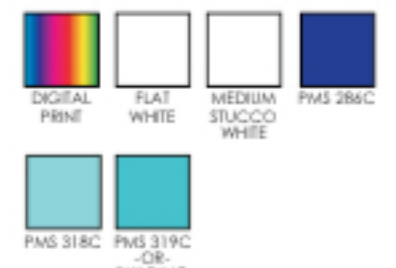


Blue Bayou inn

Approved By: _____
Date: _____

Project:
Blue Bayou Inn
427 E. Tarpon Avenue
Tarpon Springs, FL 34689

Colors:



Font(s): **Contralto Demi Bold**

City of Tarpon Springs Sign Code:
1 SF per Foot of Linear Frontage
Max 10'H, 10' setback from sidewalk, 15' driveway site triangle
LF: 35' = 35 SF Allowed

Actual Signage Area:
60"W x 84"H = 35 SF

Notes / Alerts for Client Review:

Client Rep: Gayle Risk
email: gayle@signsourcefla.com

Sign Source 727-734-3555 Office
2045 Lawson Road www.SIGNSOURCEFLA.com
Clearwater, FL 33763 Rene@signsourcefla.com

SIGNAGE DESIGN SHEET

Blue Bayou Inn - Monument Design Concept #2

Double-Sided, Non-Illuminated w/ Peaked Roof & Posts

DESCRIPTION:

- Double-sided, non-illuminated Aluminum fabricated Main ID cabinet w/ 4" slope peaked roof shape & typical Internal aluminum frame, painted white w/ digital print graphics
- Bottom 12" of each face masked off & painted per color schedule
- **BLUE BAYOU:** 45.7"W x 9.3"H x 3/8"D Acrylic laser-cut FCO letters mounted flush to each face
- **VACANCY/NO VACANCY:** 12"W x 8"H White removable slider panel, one side digitally printed with red "NO" & mounted to face on clear Zip tracks to allow flipping
- (2x) 8" x 8" Square Posts painted white w/ dimensional post caps in white
- Auger footer installation and steel pipe support per engineering recommendations

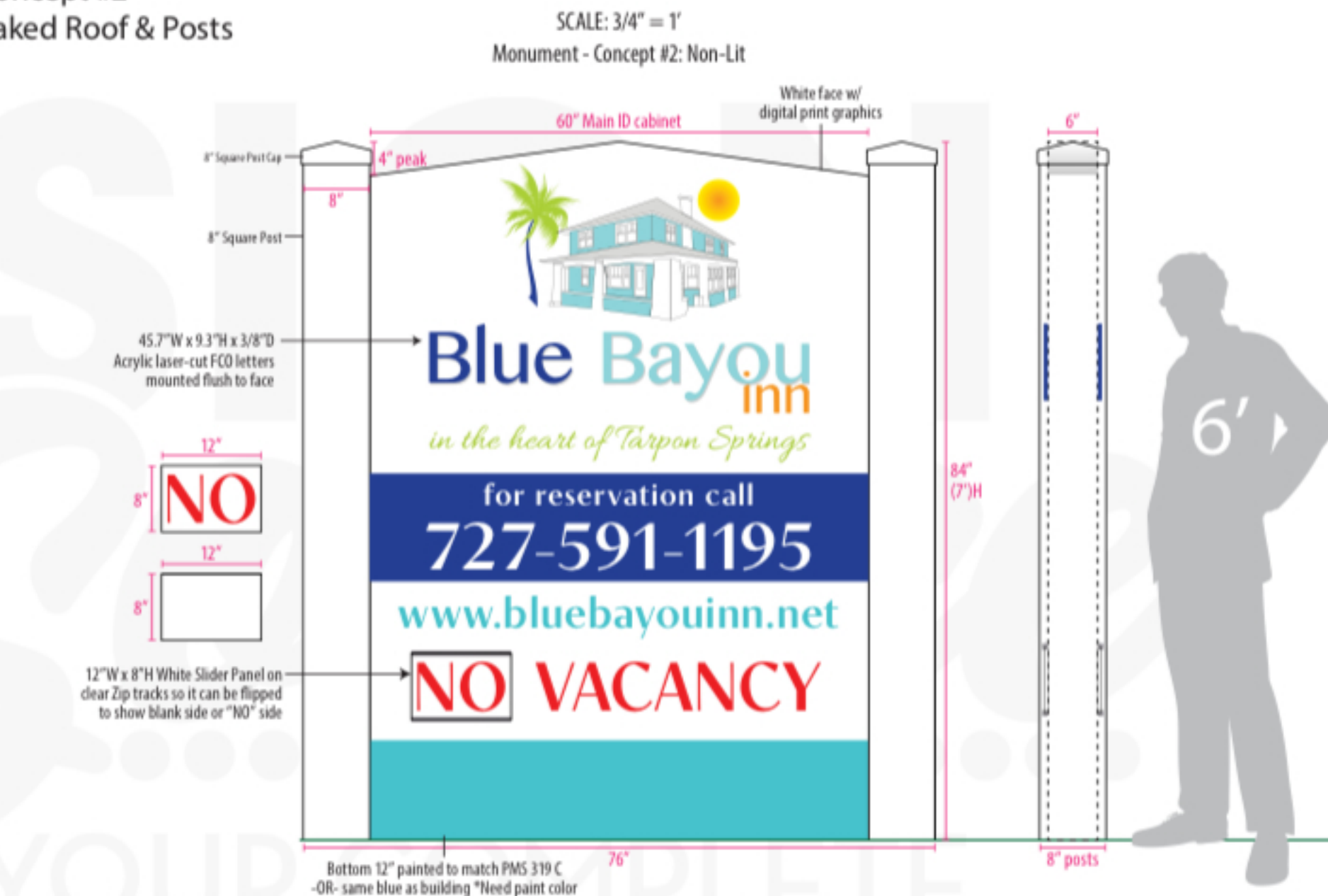


Photo of actual building



This design features a peaked "roof" shape and white posts on each side for a classic look to compliment the building style

Note: Before finalizing your sign package, it is important to thoroughly review it for any errors or discrepancies. This includes checking for misspelled words, ensuring the design concepts are accurate, and verifying that all necessary information is included on the signs. It is also essential to confirm that the colors and fonts align with your preferences. Please note that Signsource cannot be held responsible for any misspellings, incorrect design concepts, inaccurate information, or discrepancies related to colors and fonts once the package has been approved by the client and production finalized. In the event that any signs require fabrication once more, a change order will be submitted for the necessary adjustments.

All ideas, designs, arrangements, and plans indicated by these drawings are property of Sign Source and or Complete Sign Solutions and are created for rendering, example and approval use only. The designs, and plans are not to be used nor disclosed to any person, designer, or sign company for any purpose without the written consent by Sign Source / Complete Sign Solutions. Contractors shall verify and be responsible for all dimensions and conditions of the job. All shop details and deviations from the shown dimensions and conditions must be approved by Sign Source/ Complete Sign Solution before proceeding with fabrication. All written dimensions shall take precedence over scaled dimensions.

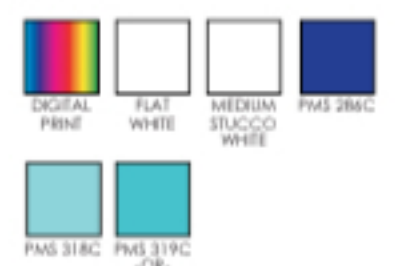


Blue Bayou inn

Approved By: _____
Date: _____

Project:
Blue Bayou Inn
427 E. Tarpon Avenue
Tarpon Springs, FL 34689

Colors:



Font(s): **Contralto Demi Bold**

City of Tarpon Springs Sign Code:
1 SF per Foot of Linear Frontage
Max 10'H, 10' setback from sidewalk, 15' driveway site triangle
LF: 35' = 35 SF Allowed

Actual Signage Area:
60"W x 84"H = 35 SF

Notes / Alerts for Client Review:

Client Rep: Gayle Risk
email: gayle@signsourcefla.com

Sign Source 727-734-3555 Office
2045 Lawson Road www.SIGNSOURCEFLA.com
Clearwater, FL 33763 Rene@signsourcefla.com

SIGNAGE DESIGN SHEET

Blue Bayou Inn - Monument Design Concept #3

Double-Sided, LED Illuminated w/ Peak & Flared Base

DESCRIPTION:

- Double-sided, LED-illuminated Aluminum fabricated Main ID cabinet w/ 4" slope peaked roof shape & typical Internal aluminum frame, painted white w/ digital print graphics
- 2" Retainer system w/ white poly faces & digitally printed vinyl graphics applied
- **VACANCY/NO VACANCY:** 12"W x 8"H White removable slider panel, one side digitally printed with red "NO" & mounted to face on clear Zip tracks to allow flipping
- Down-lighting to help illuminate Vacancy at night *to be determined with help of fabricator
- Flared Aluminum Base, painted to match PMS 319 C -OR- same blue as building *Need paint color
- Auger footer installation and steel pipe support per engineering recommendations

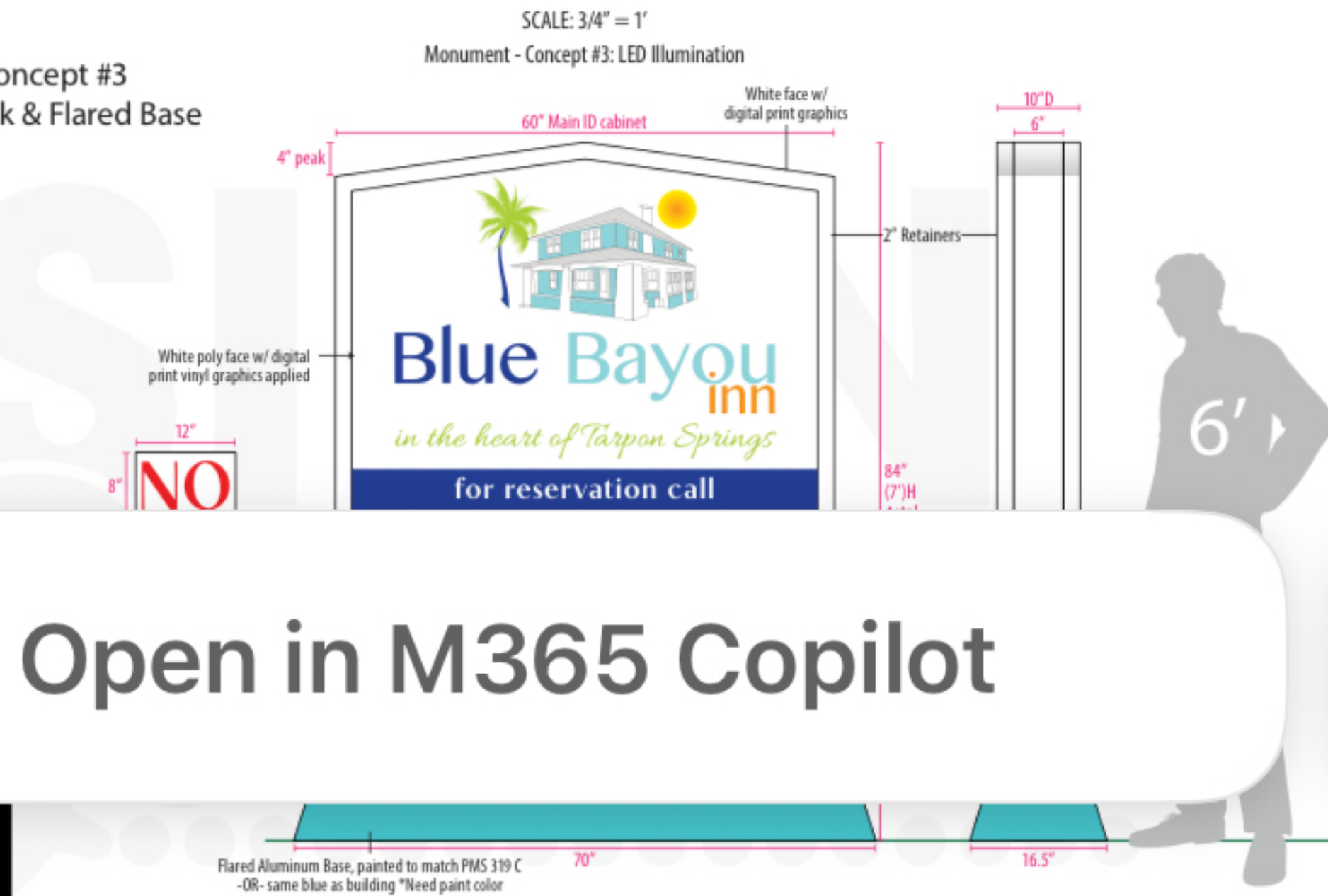


Photo of actual building



This design features a peaked "roof" shape and white posts on each side for a classic look to compliment the building style

Note: Before finalizing your sign package, it is important to thoroughly review it for any errors or discrepancies. This includes checking for misspelled words, ensuring the design concepts are accurate, and verifying that all necessary information is included on the signs. It is also essential to confirm that the colors and fonts align with your preferences. Please note that Signsource cannot be held responsible for any misspellings, incorrect design concepts, inaccurate information, or discrepancies related to colors and fonts once the package has been approved by the client and production finalized. In the event that any signs require fabrication once more, a change order will be submitted for the necessary adjustments.

All ideas, designs, arrangements, and plans indicated by these drawings are property of Sign Source and or Complete Sign Solutions and are created for rendering, example and approval use only. The designs, and plans are not to be used nor disclosed to any person, designer, or sign company for any purpose without the written consent by Sign Source / Complete Sign Solutions. Contractors shall verify and be responsible for all dimensions and conditions of the job. All shop details and deviations from the shown dimensions and conditions must be approved by Sign Source/ Complete Sign Solution before proceeding with fabrication. All written dimensions shall take precedence over scaled dimensions.



Blue Bayou inn

Approved By: _____
Date: _____

Project:
Blue Bayou Inn
427 E. Tarpon Avenue
Tarpon Springs, FL 34689

Colors:



Font(s): **Contralto Demi Bold**

City of Tarpon Springs Sign Code:
1 SF per Foot of Linear Frontage
Max 10'H, 10' setback from sidewalk, 15' driveway site triangle
LF: 35' = 35 SF Allowed

Actual Signage Area:
60"W x 84"H = 35 SF

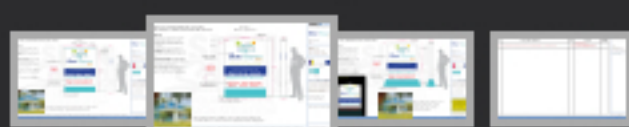
Notes / Alerts for Client Review:

Client Rep: Gayle Risk
email: gayle@signsourcefla.com

Sign Source 727-734-3555 Office
2045 Lawson Road www.SIGNSOURCEFLA.com
Clearwater, FL 33763 Rene@signsourcefla.com



Open in M365 Copilot





CITY OF TARPON SPRINGS
HERITAGE PRESERVATION BOARD
July 6, 2026

STAFF REPORT, June 23, 2026

Application No. / Project Title: 26.55 / Boyle

Staff: Caroline Lanford, AICP CTP
Principal Planner

Applicant / Owner: Boyle’s Aluminum and Screening, Applicant /
Deena Lauderdale and John Sandacz, Owners

Property Size: 9,705 sf | \cong 0.22 acres

Current Zoning: R-60 One and Two Family Residential District

Location / Parcel ID: 330 Pineapple Street / 12-27-15-95940-005-0120

Architectural Type/District Status: Masonry Vernacular / Non-Contributing

BACKGROUND SUMMARY:

There is no Florida Master Site File associated with this structure. Property appraiser records indicate that this structure was constructed circa 1925. However, it is not extant on the 1926 Sanborn map and the structure has been significantly unsympathetically altered to the degree that it lacks architectural integrity and is considered a non-contributing, non-historic structure in the local historic district.

The applicant is seeking a Certificate of Appropriateness to construct a 20’x18’ carport on the Pineapple Street frontage at the subject property.

PRELIMINARY STAFF RECOMMENDATION:

Staff recommends **denial** of the application as the proposal does not conform to the Land Development Code, nor the Design Review Guidelines Manual (DRGM) as outlined in this staff report and the accompanying presentation. Should the HPB approve the application, the applicant would need to seek a variance through the Board of Adjustment, as the proposal does not comply with district setback standards.

HISTORIC DISTRICT CONSIDERATIONS:

1. When considering this application, the Heritage Preservation Board (HPB) is encouraged to refer to the DRGM, especially 5, 19, and 21. The DRGM can be accessed at the following link: <https://www.ctsfl.us/DocumentCenter/View/639/Historic-District-Design-Review-Guidelines-Manual-PDF?bidId=>

REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROPRIATENESS

Pursuant to Section 109.01, Standards for Review:



- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Appropriateness, the Board shall consider the following criteria:

(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.

ANALYSIS: The height and width of the proposed carport is consistent with other carports and detached garages located in the local historic district.

(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

ANALYSIS: Not applicable.

(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.

ANALYSIS: The proposed carport would adversely alter the historic streetscape and change the relationship between open space and the street.

The proposed carport does not conform to district standards. The applicant is proposing a 2' setback from the property line. ARTICLE III.- SUPPLEMENTARY DISTRICT REGULATIONS § 36.01 Accessory Structure Dimensional Standards states:

Reduced side and rear yard setbacks are permitted for accessory structures when located behind the established front setback of the primary structure and in accordance with the following standards:

- (A) Storage Structures, Outdoor Shelters, Sheds, Bath Houses, and Similar Structures:
 - (1) Residential Properties:
 - (a) Maximum Size = 200 square feet
 - (b) Side & Rear Setback = 5 feet
 - (c) Maximum Number = 2 (excluding a detached garage)

Because the proposed carport exceeds 200 square feet and is not proposed to be located behind the established front setback of the primary structure, Part (B) Detached Garages could apply:

- (B) Detached Garages:
 - (1) Maximum Height = 20 feet



- (2) Minimum Side Setback = 7.5 feet or the district side yard requirement, whichever is less.
- (3) Minimum Rear Setback = 5 feet
- (4) Maximum Size = 350 square feet, or up to 600 square feet if the garage does not exceed 25% of the gross floor area of the primary structure.

The gross floor area of the primary structure at the subject property is 2,929 square feet. The proposed carport is 360 square feet, which is less than 25% of the gross floor area of the primary structure. However, the minimum front yard setback for garages in the R-60 district is 25 feet. Therefore, this proposed carport is not in compliance with the Land Development Code. Should the HPB approve the application for a Certificate of Approval, the applicant would need to seek a variance.

Under ARTICLE XII. - ADMINISTRATION AND ENFORCEMENT § 215.02 - Variances. (3):

Location of the property in the Historic District within the City may also be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within that District before any variance may be granted

Guideline 19 of the DRGM states, "Accessory structures such as a shed shall be located in the rear yard or the side yard closest to the rear yard."

Guideline 21 of the DRGM states:

- a. New garages and outbuildings should be located in the rear yard or the side yard closest to the rear yard.
- b. New garages and outbuildings shall be designed to reflect the architectural style of the primary building and will maintain a scale consistent with the primary building.
- c. New garages and outbuildings that are permitted to be located along the public right-of-way or within the public view shall be designed in the same architectural style as the principal building.

The HPB should determine if the proposed carport is compatible with the character of the properties within the Local Historic District, and generally compliant with the DRGM.

(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.

ANALYSIS: Not applicable.

(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.



ANALYSIS: Not applicable.

(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.

ANALYSIS: Not applicable.

(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.

ANALYSIS: Not applicable.

(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.

ANALYSIS: Not applicable.

(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

ANALYSIS: The following standards are applicable to this project:

(9) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.

ANALYSIS: The proposed carport does not comply with relevant sections of the Land Development Code, nor is it compliant with the historic preservation goals, objectives and policies of the Comprehensive Plan.

(11) The impact upon archaeological sites shall preserve the integrity of the site.

ANALYSIS: No known archaeological sites will be impacted.

PUBLIC CORRESPONDENCE:



The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. Staff has not received any responses to these notices.

ATTACHMENTS:

1. Slide Presentation
2. Application and supporting materials

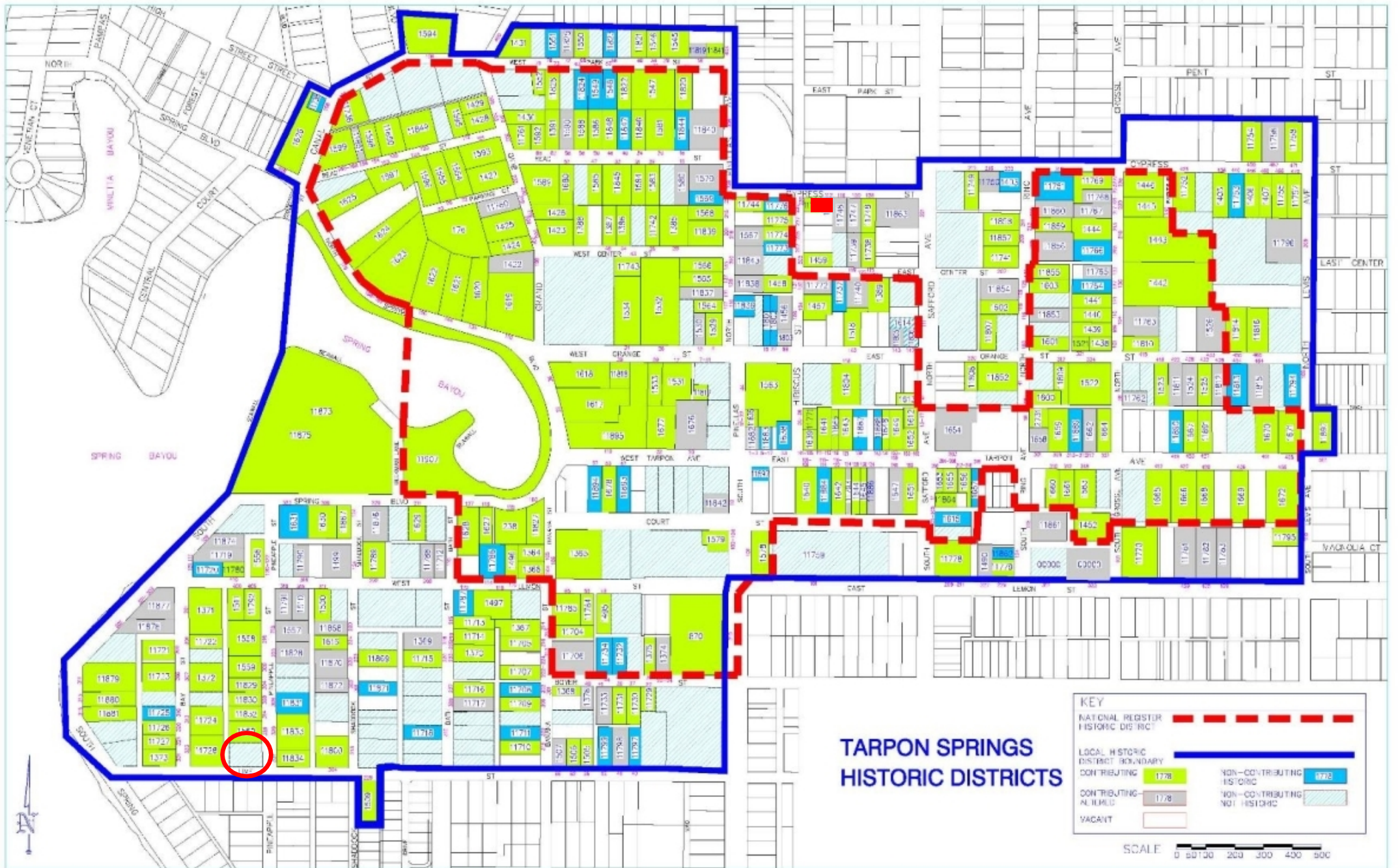
BOYLE APPLICATION #26.55

Heritage Preservation Board, July 6, 2026



LOCATION AND LAND USE CONTEXT





PROPERTY INFORMATION

- Lot Size: 9,705 square feet
- Current Zoning: R-60 One and Two Family Residential District
- Location / Parcel ID: 330 Pineapple Street / 12-27-15-95940-005-0120
- Architectural Type/Style: Masonry Vernacular
- District Status: Non-Contributing, Non-Historic
- Owner / Applicant: Deena Lauderdale and John Sandacz, Owners,
Boyle's Aluminum and Screening, Applicant

REQUEST

Certificate of Appropriateness to:

- Construct a 20'x18' carport on the Pineapple Street frontage

330 PINEAPPLE STREET – FAÇADE



330 PINEAPPLE STREET – PROPOSED AREA OF CONSTRUCTION



330 PINEAPPLE STREET – NORTHWEST VIEW



330 PINEAPPLE STREET – PINEAPPLE STREET CONTEXT NORTH



330 PINEAPPLE STREET – PINEAPPLE STREET CONTEXT SOUTH



STANDARDS FOR REVIEW – CERTIFICATE OF APPROPRIATENESS

- 1) New construction consistency.
- 2) Windows, doors and entries.
- 3) Neighborhood and district context.
- 4) Roof shape and texture.
- 5) Size and massing / shape.
- 6) Landscaping.
- 7) Architectural features.
- 8) Adherence to period of construction.
- 9) Adherence to Secretary's Guidelines.
- 10) Conformance with other City code requirements.
- 11) Impact upon archeological sites.

STANDARDS FOR REVIEW – ADHERENCE TO LAND DEVELOPMENT CODE

§ 36.01 Accessory Structure Dimensional Standards.

Reduced side and rear yard setbacks are permitted for accessory structures **when located behind the established front setback of the primary structure** and in accordance with the following standards:

(A) Storage Structures, Outdoor Shelters, Sheds, Bath Houses, and Similar Structures:

(1) Residential Properties:

- (a) Maximum Size = 200 square feet
- (b) Side & Rear Setback = 5 feet
- (c) Maximum Number = 2 (excluding a detached garage)

(2) Non-Residential Properties:

- (a) Maximum Size = 300 square feet
- (b) Side & Rear Setback = 5 feet
- (c) Maximum Number = 3

(3) Exemptions: Playhouses/Playsets, Sunshades, Firepits, Compost Bins/Rain Barrels, Rain Garden Beds, Storage Cabinets, Chicken Coops (per Section 4-3) and Similar Items.

STANDARDS FOR REVIEW – ADHERENCE TO LAND DEVELOPMENT CODE

(B) Detached Garages:

- (1) Maximum Height = 20 feet
- (2) Minimum Side Setback = 7.5 feet or the district side yard requirement, whichever is less.
- (3) Minimum Rear Setback = 5 feet
- (4) Maximum Size = 350 square feet, or up to 600 square feet if the garage does not exceed 25% of the gross floor area of the primary structure.

(C) Structures exceeding the maximums outlined above must comply with the setback requirements of the district in which the property is located.

STANDARDS FOR REVIEW – ADHERENCE TO LAND DEVELOPMENT CODE

(C) R-60 Dimensional Regulations

Table 25.03(A) – R-60 – Dimensional Regulations Table									
Use	Minimum Lot Standards			Minimum Yards ¹ (feet)				Maximum Height ² (feet)	Maximum Lot Coverage
	Area ¹ (sqft)	Width (feet)	Depth (feet)	Front	Side	Side Street	Rear		
Single Family	6,000 ³	40	-	20 (Living Area) 25 (Garage)	5	7.5	20	30	Per FLU/ISR allowance
Two Family	9,000	60	-	20 (Living Area) 25 (Garage)	7.5	10	25	30	
All Other Uses	12,000	88	-	35	15	-	25	30	

TABLE NOTES:

- Submerged land shall not be credited towards the minimum lot area nor shall be part of any required yard or setback.
- The height limitations do not apply to poles used for electrical power, street lighting standards, or traffic control devices.
- Notwithstanding this minimum and the provision of Section 24.02 of this Code, any lot which, on the effective date of this district, was specifically delineated on a plat of record and contains at least 5,000 square feet of land area may be utilized for the construction of a single family dwelling.



4.8 Universal Guidelines for Docks and other Accessory Structures

Please see General Guidelines at the beginning of this chapter, for additional guidance.

Guideline 19. Locating Accessory Structures

- a. Accessory structures such as a shed shall be located in the rear yard or the side yard closest to the rear yard.
- b. Accessory structures that are permitted to be located along the public right-of-way or within the public view shall be designed in the same architectural style as the principal building.
- c. New decks, patios, swimming pools, pool cages, and playground equipment requiring a permanent foundation should be situated in the rear yard of properties out of sight from the public right-of-way. If placement in a side yard is the only viable option, these additions should be screened from view with landscaping or vegetation.
- d. Bathhouses associated with pools should be in rear yards.
- e. Bike racks located throughout the historic district shall comply with the architectural standards set for bike racks within the City's Special Area Plan Infill district.

Guideline 33. New Garage or Outbuilding Construction

- a. The new garage shall be compatible with the primary building in terms of scale, massing, and style.
- b. The scale of the new garage shall also be compatible with both the street and alley environments of the historic district.
- c. Use appropriate carriage style doors and hardware in keeping with the architectural style.
- d. Pre-fabricated, non-permanent sheds are permitted in the rear of the property. They should be small in scale and congruous with the style of the primary building, including materials.

It is generally not appropriate to:

- use vinyl applied detailing on garage doors

PRELIMINARY STAFF RECOMMENDATION

Staff recommends **denial** of the application as presented. If the HPB approves the project, the following conditions are recommended:

1. The Certificate of Appropriateness will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. No responses to the notices have been received.

Certificate of Appropriateness Form



CITY OF TARPON SPRINGS
PLANNING & ZONING DEPARTMENT
324 E. Pine Street, Tarpon Springs, FL 34689
(727) 942-5611 / planning@ctsfl.us

INSTRUCTIONS

Please complete this form fully and DOWNLOAD (print button) to submit in addition the General Planning and Zoning Application. Applications must be submitted DIGITALLY through the Planning and Zoning goPost portal.

Project Name*

Lauderdale Carport

Project Location*

330 PINEAPPLE ST

Type of Activity (Check all that apply)*

- Awnings, Deck/Patio, Demolition, Driveway, New Construction, Parking Lot, Relocation*, Renovation, Roof, Signs, Structural Addition, Windows/Doors/Solar Panels

*If Relocation, provide the following information:

New Address / Location

Address / General Location

New Tax Parcel ID

Parcel ID from Pinellas County Property Appraiser

Lookup Parcel ID

New Land Use

-- Select One --
Choices are Alphabetized
Lookup Land Use

New Zoning

-- Select One --
Choice are Alphabetized
Lookup Zoning

Year Built*

1925

Architectural Style*

Florida vernacular / early bungalow-style historic home with Mediterranean and Craftsman influences

Porches*

- Yes, No

Original Use*

residential

Present Use*

residential

Proposed Use*

residential

Roof Type*

Roll Composition

Roof Material*

shingle

Exterior Siding Material*

Cb Stucco/Cb Reclad

Previous Additions or Modifications*

sidewalk addition/repair, electrical, plumbing, renovation remodel, windows/doors, fencing, Heat/air, roof

Description of Proposed Work*

Install new carport using white 4" thick structural panel roof system.

For Relocation or Demolition

N/A

Describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible.

Heritage Preservation Board (HPB) Review Standards

Please note, in reviewing an application for a Certificate of Appropriateness, the Board must consider the standards outlined in [LDC Section 109.01\(B\)](#).

Electronic Signature Agreement*

By checking the "**I Agree**" box below, you agree and acknowledge that **1)** this form will not be signed in the sense of a traditional paper document, **2)** by signing in this alternate manner, you authorize your signature on this form to be valid and binding to the same force and effect as a handwritten signature, and **3)** the information included in and with this form is completely true and correct to the best of your knowledge.

I Agree

Electronic Signature*

Daniele Serata

Date*

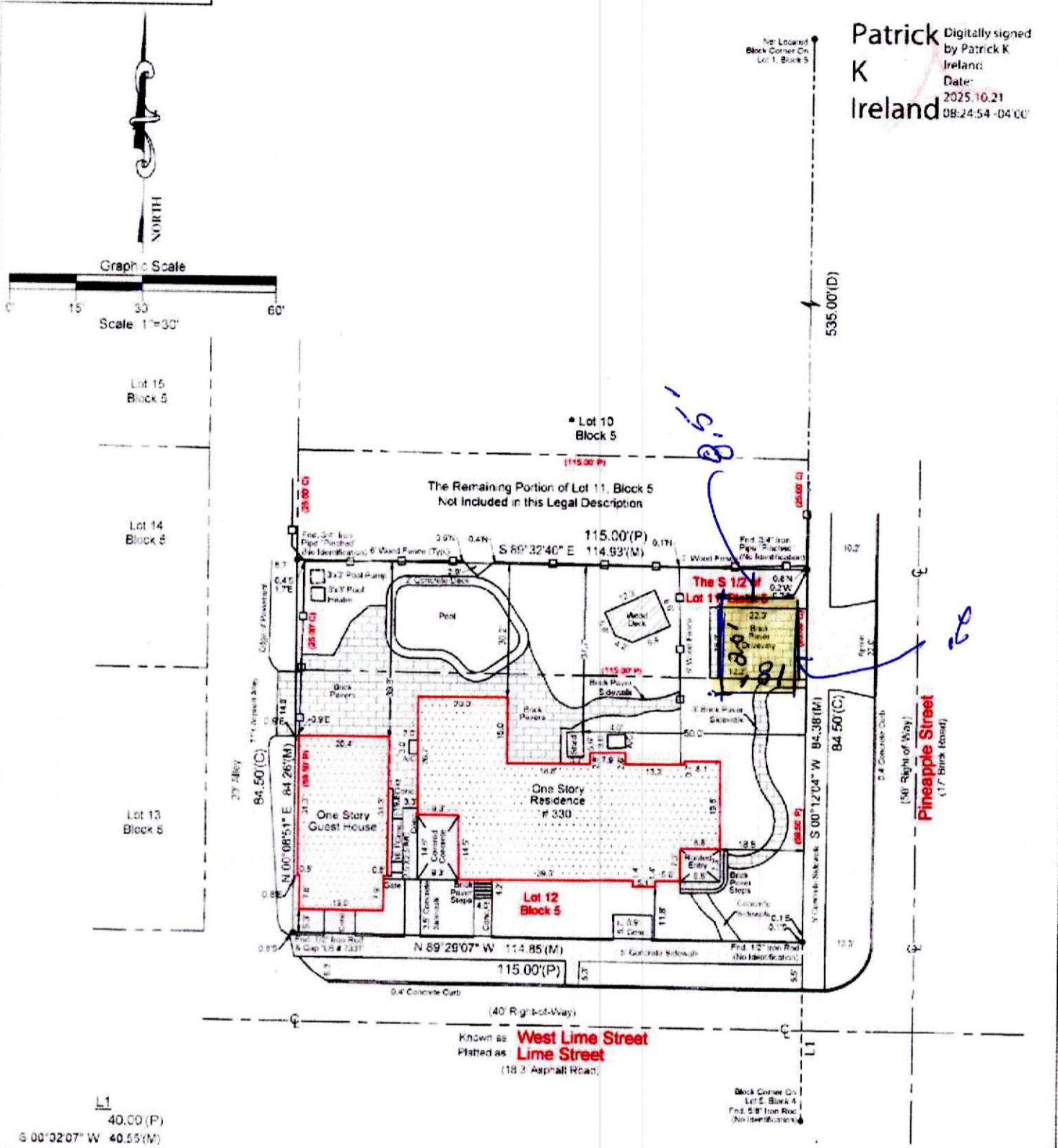
5/6/2026

Steps to Download Form

1. Click the '**Print Only**' button below.
2. Your form will open in a new tab.
3. **Right click** on your mouse and **select 'Print'**.
4. Choose to print to '**PDF**'.
5. Save the form in your desired location.

Need help? Give the Planning Department a call at [727-942-5611](tel:727-942-5611).

BOUNDARY SURVEY



Patrick K Ireland
 Digitally signed by Patrick K Ireland
 Date: 2025.10.21 08:24:54 -04'00'

<p>SURVEYOR'S NOTES</p> <p>Survey conducted on the day described hereafter, to wit: 10/21/2025. All bearings and distances were taken from the center of the instrument. The survey was conducted in accordance with the Florida Statutes, Chapter 40, Part I, and the Florida Board of Surveying and Mapping, Chapter 12S-1.01, F.A.C. The survey was conducted in accordance with the Florida Statutes, Chapter 40, Part I, and the Florida Board of Surveying and Mapping, Chapter 12S-1.01, F.A.C. The survey was conducted in accordance with the Florida Statutes, Chapter 40, Part I, and the Florida Board of Surveying and Mapping, Chapter 12S-1.01, F.A.C.</p>		<p>LEGEND</p> <table border="0"> <tr> <td>—</td> <td>Property Line</td> <td>⊙</td> <td>Well</td> <td>⊠</td> <td>Survey Station</td> </tr> <tr> <td>- - -</td> <td>Boundary Line</td> <td>⊙</td> <td>Water</td> <td>⊠</td> <td>Survey Station</td> </tr> <tr> <td>⋯</td> <td>Right-of-Way</td> <td>⊙</td> <td>Water</td> <td>⊠</td> <td>Survey Station</td> </tr> <tr> <td>⋯</td> <td>Right-of-Way</td> <td>⊙</td> <td>Water</td> <td>⊠</td> <td>Survey Station</td> </tr> <tr> <td>⋯</td> <td>Right-of-Way</td> <td>⊙</td> <td>Water</td> <td>⊠</td> <td>Survey Station</td> </tr> </table>		—	Property Line	⊙	Well	⊠	Survey Station	- - -	Boundary Line	⊙	Water	⊠	Survey Station	⋯	Right-of-Way	⊙	Water	⊠	Survey Station	⋯	Right-of-Way	⊙	Water	⊠	Survey Station	⋯	Right-of-Way	⊙	Water	⊠	Survey Station
—	Property Line	⊙	Well	⊠	Survey Station																												
- - -	Boundary Line	⊙	Water	⊠	Survey Station																												
⋯	Right-of-Way	⊙	Water	⊠	Survey Station																												
⋯	Right-of-Way	⊙	Water	⊠	Survey Station																												
⋯	Right-of-Way	⊙	Water	⊠	Survey Station																												
<p>LEGAL DESCRIPTION</p> <p>LOT 12 AND THE SOUTH 1/2 OF LOT 11, BLOCK 5, WILSONS LAKE, ADDITION TO THE TOWN OF TARPON SPRINGS, FLORIDA, ACCORDING TO MAP OR PLAN THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 21 OF THE PUBLIC RECORDS OF PINEELLAS COUNTY, FLORIDA.</p>		<p>CLIENT'S DATA</p> <p>Tampa Title of Florida, LLC Debra Luskate, John H. Santos, and Jocelyn A. Ramsey Old Republic National Title Insurance Company Reason Bank ISMADATMA</p>																															
<p>PROPERTY ADDRESS</p> <p>76 PINEAPPLE STREET TARPON SPRINGS, FL 34689</p>		<p>DATE OF INTEREST</p> <p>10/21/2025</p>																															
<p>ADDITIONS</p>		<p>FOR OFFICIAL USE</p> <p>Patrick K. Ireland PS120637 10/21/2025</p> <p>I hereby certify that this Boundary Survey of the above Described Property is True and Correct to the best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown. Based on Information Provided to Me as Noted and Confirms to the Standard of Practice for Land Surveying in the State of Florida in accordance with Chapter 477.002 Florida Administrative Code, Pursuant to Section 477.007 Florida Statutes.</p>																															
<p>PROJECT ADDRESS</p> <p>76 PINEAPPLE STREET TARPON SPRINGS, FL 34689</p>		<p>FOR OFFICIAL USE</p> <p>Field Date: 10/21/2025 Drawn By: SD Checked By: SD Drawn Date: 10/21/2025</p>																															

DESIGN CRITERIA:

APPLICABLE CODES, REGULATIONS & STANDARDS:

1. THE 2023 FLORIDA BUILDING CODE 8TH EDITION, SPECIFICALLY CHAPTER 16 STRUCTURAL DESIGN, CH. 20 ALUMINUM & CH. 23 WOOD.
2. AA ASM 35 & SPECIFICATIONS FOR ALUMINUM STRUCTURES, PART 1-A OF THE ALUMINUM DESIGN MANUAL PREPARED BY THE ALUMINUM ASSOCIATION, INC. WASHINGTON D.C. 2005 ED.
3. ASCE 7-22 & SEI 7
4. NDS NATIONAL DESIGN SPECIFICATION FOR WOOD.
5. ACI318 CONCRETE REFERENCE MANUAL.

WIND LOADS:

1. BUILDING OCCUPANCY CATEGORY, PARAGRAPH 1604.5 & TABLE 1604.5: RISK CATEGORY: I
2. BASIC WIND SPEED, TABLE 1609C, STATE OF FLORIDA DEBRIS REGION & BASIC WIND SPEED, PARAGRAPH 1609.3.1 & TABLE 1609.3.1 EQUIVALENT BASIC WIND SPEED: 140 MPH EXPOSURE CATEGORY, PARAGRAPH 1609.4.3: C
3. WIND LOADS PER FBC TABLE 2002.4 (MWFRS) VULT = 140 MPH & EXPOSURE = C

DESIGN LOADS:

1. DEAD LOADS = _____ MEMBER SELF-WEIGHT
2. LIVE LOADS _____
SOLID ROOF = 20 PSF

FOUNDATION DESIGN:

(4) PROPOSED 24"X24"X24" DEEP ISOLATED FOOTER OVER 18" Ø X 28" SONOTUBE FOOTER (TYP.) (SEE SHT/04 DETAIL)

MISCELLANEOUS:

1. THE STRUCTURE HERIN IS DESIGNED TO BE SELF-SUPPORTING "FREE STANDING".

FASTENER SPECIFICATIONS:

1. FASTENERS ARE REQUIRED TO BE SAE GRADE 2 OR BETTER ZINC PLATED. (CONCRETE ANCHORS ARE TO BE TAPCONS OR BETTER, INSTALLED TO MFG. SPECIFICATIONS)

RESPONSIBILITIES:

1. ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDANANCES, AND THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
2. FOR FASTENERS WHICH ARE NOT VISIBLE AFTER INSTALLATION, THE CONTRACTOR SHALL VERIFY AND ENSURE INSTALLATION HAS BEEN ACCOMPLISHED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH THE ATTACHED DETAILS.
3. CONTRACTOR TO PROVIDE NOA'S & INSTALL ALL MATERIALS AS PER MANUFACTURER'S SPECIFICATIONS.
4. INTEGRITY OF EXISTING/ HOST STRUCTURE SHALL NOT BE COMPROMISED WITH THE ATTACHMENT OF THE PROPOSED STRUCTURE.
5. IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SCREENS & FASTENERS TO MANUFACTURING SPECIFICATIONS.
6. METAL WITHIN 5FT OF THE WATERS EDGE REQUIRE A CONTINIOUS BOND PER NEC NFPA 70: NATIONAL ELECTRIC CODE 680.43(D)(4): ALL METAL SURFACES THAT ARE WITHIN 1.5M (5FT) OF THE INSIDE WALLS OF THE SPA OR HOT TUB AND THAT ARE NOT SEPERATED FROM THE SPA OR HOT TUB AREA BY A PERMANENT BARRIER SHALL BE BONDED TOGETHER.

ALUMINUM SPECIFICATIONS:

1. ALUMINUM EXTRUSIONS SHALL BE 6005 T5 ALLOY UNLESS OTHERWISE NOTED.
2. ALL SELF MATING BEAM SECTIONS ARE TO BE STITCHED WITH
 - a. #12 SCREWS 6" FROM ENDS & 18" CENTER TO CENTER.
 - b. #10 SCREW 6" FROM ENDS & 12" CENTER TO CENETER.

CONCRETE SPECIFICATIONS:

THE FOLLOWING SPECIFICATIONS ARE APPLICABLE TO THIS PROJECT:

1. WHERE CONCRETE SPECIFICATIONS ARE REQUIRED, WHETHER IN THE SCREEN ENCLOSURE SCOPE OR NOT, BY ONE OR MORE REGULATORY AGENCIES, THE FOLLOWING SPECIFICATIONS ARE APPLICABLE:
 - a.) CONCRETE SHALL CONFORM TO ASTM C94 FOR THE FOLLOWING COMPONENTS:
 - i. PORTLAND CEMENT TYPE 1 - ASTM C 150
 - ii. AGGREGATES - LARGE AGGREGATE 3/4 MAX. - ASTM C 33
 - iii. AIR ENTRAINING +/- 1 % - ASTM C 260
 - iv. WATER REDUCING AGENT - ASTM C 494
 - v. CLEAN POTABLE WATER
 - vi. OTHER ADMIXTURES NOT PERMITTED
 - b.) METAL ACCESSORIES SHALL CONFORM TO:
 - i. REINFORCING BARS - ASTM A615, GRADE 60
 - ii. WELDED WIRE FABRIC - ASTM A185
 - c.) CONCRETE SLUMP AT DISCHARGE CHUTE NOT LESS THAN 3" OR MORE THAN 5". WATER ADDED AFTER BATCHING IS NOT PERMITTED.
 - d.) PREPARE & PLACE CONCRETE PER AMERICAN CONCRETE INSTITUTE MANUAL OF STANDARD PRACTICE, PART 1, 2, & 3 INCLUDING HOT WEATHER RECOMMENDATIONS.
 - e.) MOIST CURE OR POLYETHYLENE CURING PERMITTED.
 - f.) PRIOR TO PLACING CONCRETE, TREAT THE ENTIRE SUBSURFACE AREA FOR TERMITES IN COMPLIANCE WITH THE FBC.
 - g.) CONCRETE SLABS SHALL BE PLACED OVER A 6 MIL. POLYETHYLENE VAPOR BARRIER.
2. WHEN PAVERS ARE UNDER ALUMINUM MEMBERS, CONTRACTOR SHALL EPOXY TO DECK OR GROUT TO DECK w/ 3000 PSI GROUT WITH BONDING AGENT.
6. MINIMUM CONCRETE STRENGTH 3000 PSI UNLESS OTHERWISE NOTED.

MASONRY SPECIFICATIONS:

1. CONCRETE MASONRY UNITS (CMU) SHALL BE STANDARD HOLLOW UNITS AND SHALL BE 1900 PSI MINIMUM BASED ON TYPE M OR S MORTAR.
2. ALL MORTAR SHALL BE TYPE M OR S.
3. ALL GROUT SHALL BE 1800 PSI MINIMUM AND HAVE MAXIMUM COARSE AGGREGATE SIZE OF 3/8".
4. PROVIDE CLEAN-OUTS FOR REINFORCED CELLS CONTAINING REINFORCEMENT WHEN GROUT POUR EXCEEDS 5'-0" IN HEIGHT.

FOOTER SPECIFICATIONS:

1. PROVIDE 1-1/2" COVERAGE TOP, SIDES, BOTTOM AND 1" BETWEEN ADJACENT REBAR LAPS.
2. PROVIDE MIN. 3" COVERAGE OF REBAR FOR ALL CONCRETE IN CONTACT WITH THE EARTH.
3. FOOTING CONCRETE SHALL BE MIN. 3000 PSI AT 28 DAYS
4. FOOTING REINFORCEMENT SHALL BE MIN. GRADE 60
5. MINIMUM REBAR LAP SPLICE (40d) d= DIAMETER OF REBAR
6. PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE TO CITY / CO. REQUIREMENTS
7. PROVIDE 2000 PSF BEARING (TYPICAL) UNDER FOUNDATION

ALUMINUM MEMBERS DIMENSIONS:

- SQUARE TUBES (SQ. TUBE)
6 x 6 SQ. TUBE: 6"x6"x0.125" POST
SELF MATING (SMB)
2 x 4 SMB: 2" x 4" x 0.046" x 0.100"
2 x 5 SMB: 2" x 5" x 0.050" x 0.116"
2 x 6 SMB: 2" x 6" x 0.050" x 0.120"
2 x 7 SMB: 2" x 7" x 0.055" x 0.120"
2 x 8 SMB: 2" x 8" x 0.072" x 0.224"
2 x 9 SMB: 2" x 9" x 0.072" x 0.224"
2 x 9(H) SMB: 2" x 9" x 0.082" x 0.306"
2 x 10 SMB: 2" x 10" x 0.092" x 0.374"

ALL MAY NOT APPLY
DETAIL "A" MEMEBR DIMENSIONS

SHEET NO.	DRAWING INDEX
S/01	GENERAL NOTES
S/02	PLAN/ ELEVATIONS
S/03	DETAILS
S/04	FOUNDATION PLAN

DESIGN DATA:
DESIGNATED OCCUPANCY CLASSIFICATION: GROUP-U
CONSTRUCTION TYPE : II-B

This item has been digitally signed and sealed by Richard E. Walker, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



FLORIDA ENGINEERING LLC
4161 TAMiami TRAIL, UNIT 101
PORT CHARLOTTE, FLORIDA 33952
(941) 391-5980
FLEng.com
Orders@FLEng.com

CA CERT. #30782

PROJECT NO. 2607770

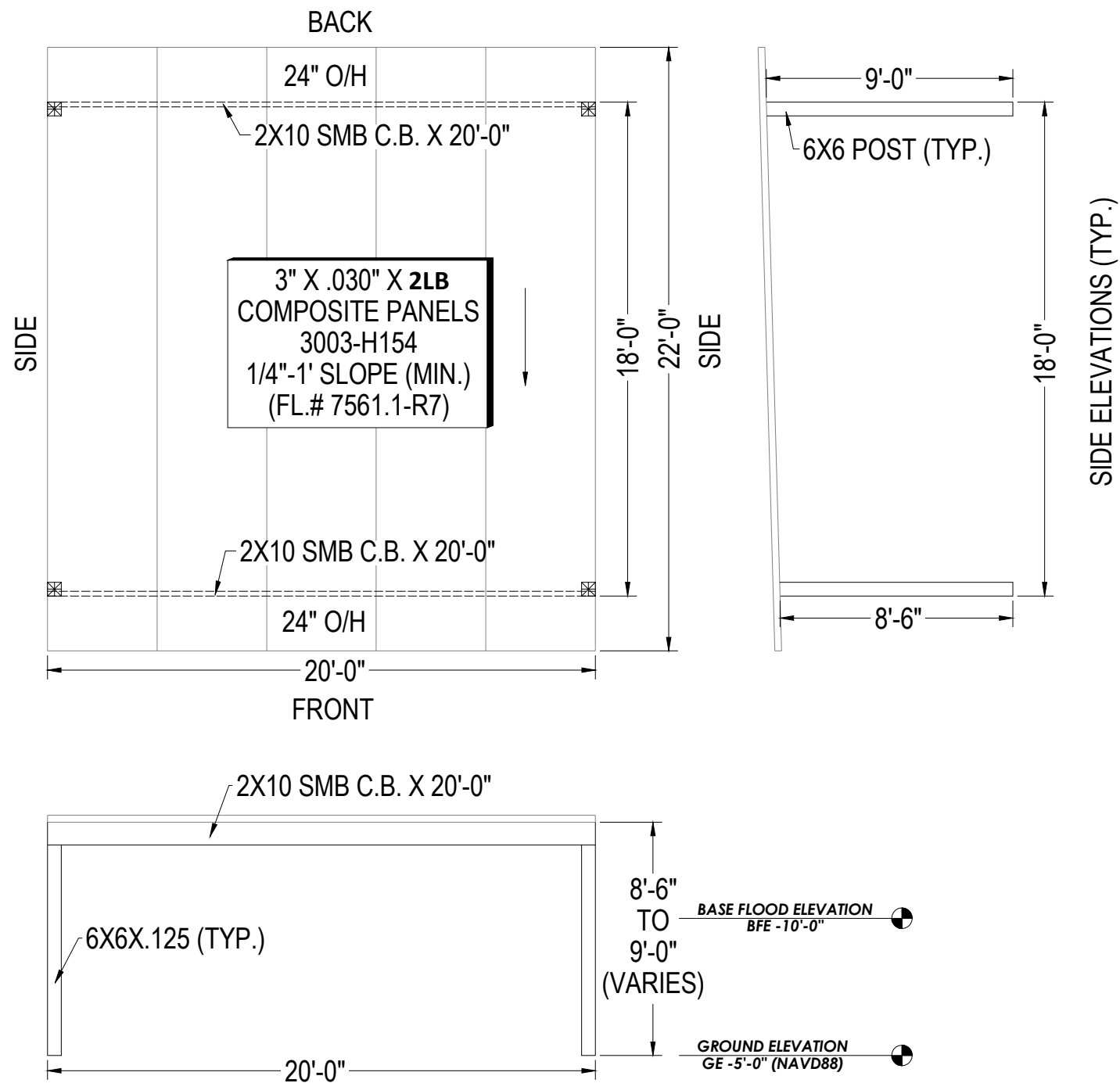
CONTRACTOR:
BOYLES ALUMINUM & SCREENING

PROJECT ADDRESS:
LAUDERDALE
330 PINEAPPLE ST
TARPON SPRINGS FLORIDA, 34689

DESIGN DATE:	04/06/2026
REVISION 1:	DATE
REVISION 2:	DATE
DRAWN BY:	ST
SCALE:	1/8" = 1'-0"

SHEET:
01
Page 64 of 103

(1) PROPOSED 22'-0" X 20'-0" FREE-STANDING CARPORT PLAN/ ELEVATIONS SCALE: NTS



This item has been digitally signed and sealed by Richard E. Walker, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

⊠ = 6X6X.125

FOUNDATION DESIGN:
(4) PROPOSED 24"x24"x24" DEEP ISOLATED FOOTER OVER 18" Ø X 28" SONOTUBE FOOTER (TYP.)

FLOOD ZONE NOTE:

- DESIGN CRITERIA PER ASCE 24-14 FLOOD RESISTANT DESIGN & CONSTRUCTION
- CONNECTIONS DESIGNED TO ENSURE STRUCTURE IS ANCHORED PROPERLY TO PREVENT FLOTATION, COLLAPSE OR LATERAL MOVEMENT FROM DESIGNED FLOOD LOADS PER ASCE 24-14.
- ALL METAL CONNECTORS AND FASTENERS EXPOSED TO SURFACE SHALL BE CORROSION RESISTANT (STAINLESS STEEL OR HOT DIPPED GALVANIZED).

NOTE:
THIS STRUCTURE HAS BEEN DESIGNED BASED ON THE GROUND ELEVATION PROVIDED ON THE ASCE HAZARD TOOL (5'-0"). EOR TO BE NOTIFIED IF GROUND ELEVATION DIFFER FROM WHAT IS SHOWN.

FLORIDA ENGINEERING LLC
4161 TAMiami TRAIL, UNIT 101
PORT CHARLOTTE, FLORIDA 33952
(941) 391-5980
FLEng.com
Orders@FLEng.com

PROJECT NO. 2607770

CA CERT. #30782

CONTRACTOR:
BOYLES ALUMINUM & SCREENING

PROJECT ADDRESS:
LAUDERDALE
330 PINEAPPLE ST
TARPON SPRINGS FLORIDA, 34689

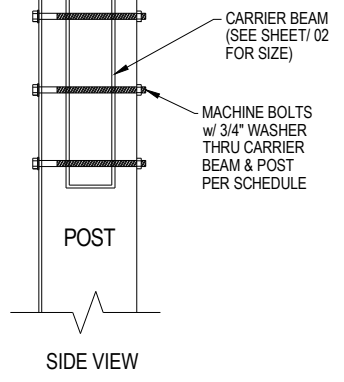
DESIGN DATE:	04/06/2026
REVISION 1:	DATE
REVISION 2:	DATE
DRAWN BY:	ST
SCALE:	1/8" = 1'-0"

SHEET:
02

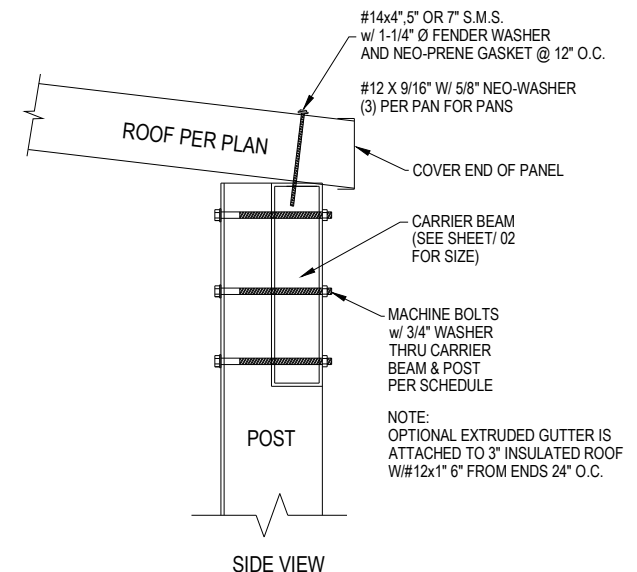
This item has been digitally signed and sealed by Richard E. Walker, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

BEAM TO POST SCHEDULE	
CARRIER BEAM SIZE	MACHINE BOLT QTY./ DIAMETER
2X6	(2) 1/2" Ø
2X7	(3) 1/2" Ø
2X8	(3) 1/2" Ø
2X9	(3) 1/2" Ø
2X10	(4) 1/2" Ø

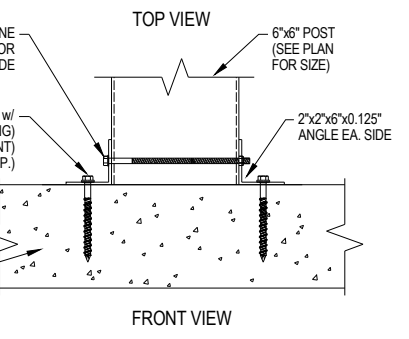
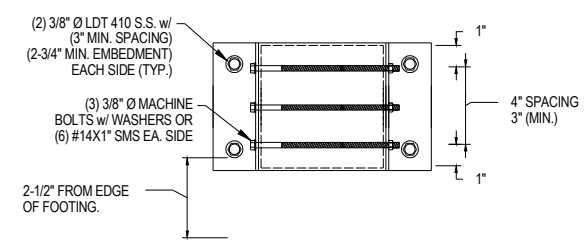
BEAM TO POST NOTES:
 MAINTAIN 1-1/2" SEPARATION BETWEEN MACHINE BOLTS.
 MAINTAIN 1-1/2" MIN. BOLT SEPARATION FROM EDGE OF BEAM/ POST



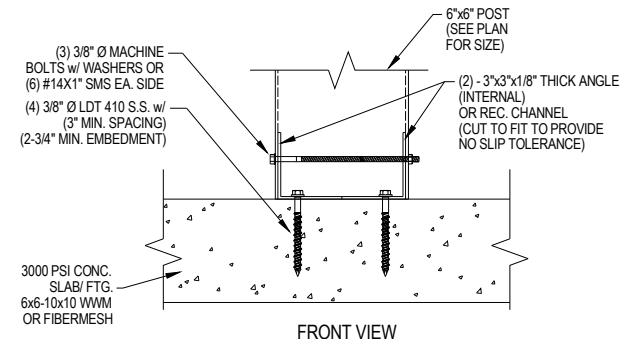
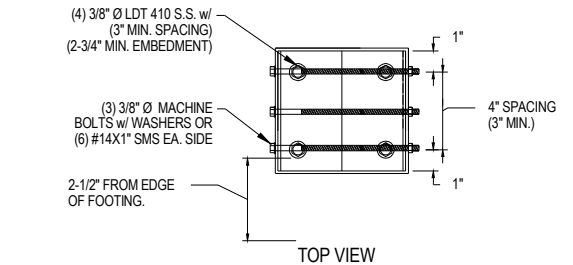
BEAM TO POST CONNECTION - I
 SCALE: NTS



BEAM TO POST CONNECTION - PANEL TO BEAM
 SCALE: NTS



6"x6" POST CONNECTION DETAIL
 SCALE: N.T.S.



6"x6" POST CONNECTION DETAIL
 (INTERNAL BASE) SCALE: NTS

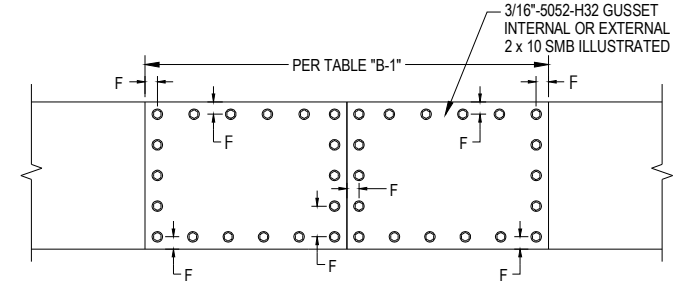


TABLE B-1		
BEAM SIZE	BEAM TO BEAM QTY SMS EACH FACE/SIDE	GUSSET SIZE
2 x 4	(9) #12	16" X 3.75"
2 x 5	(9) #12	16" X 4.75"
2 x 6	(9) #12	19" X 5.75"
2 x 7	(10) #12	22" X 6.75"
2 x 8	(14) #12	23" X 7.75"
2 x 9	(14) #14	23" X 8.75"
2 x 10	(15) #14	24" X 9.75"

NOTE F
 INSTALL FASTENERS ALONG PERIMETER OF GUSSET - BEAM JOINT 3/8" MIN. FROM EDGE. FASTENERS MAY BE STAGGERED TO INSURE PROPER QUANTITY PER TABLE B-1

FASTENER PATTERN MAY APPEAR DIFFERENT FROM ILLUSTRATION. MAINTAIN 1/2" SEPARATION BETWEEN FASTENERS. MAINTAIN 3/8" MIN. FASTENER SEPARATION FROM BEAM JOINT OR EDGE OF BEAM LAP. FASTENERS MAY BE EVENLY SPACED AROUND EDGE OF GUSSET WITHIN 3/8" OF BEAM JOINT. FASTENERS MAY BE STAGGERED TO INSURE PROPER QUANTITY PER TABLE B-1

DETAIL "K" GUSSET CONNECTION
 SCALE: NTS

FLORIDA ENGINEERING LLC
 4161 TAMiami TRAIL, UNIT 101
 PORT CHARLOTTE, FLORIDA 33952
 (941) 391-5980
 FLEng.com
 Orders@FLEng.com

PROJECT NO. 2607770

CA CERT. #30782

CONTRACTOR:
 BOYLES ALUMINUM & SCREENING

PROJECT ADDRESS:
 LAUDERDALE
 330 PINEAPPLE ST
 TARPON SPRINGS FLORIDA, 34689

DESIGN DATE: 04/06/2026

REVISION 1: DATE

REVISION 2: DATE

DRAWN BY: ST

SCALE: 1/8" = 1'-0"

SHEET: 003

FOUNDATION PLAN

SCALE: NTS

This item has been digitally signed and sealed by Richard E. Walker, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

HATCH/ SYMBOL LEGEND

HATCH	INDICATES
	EXIST. STRUCTURE
	NEW FOOTING
	NEW SLAB AREA w/ 3000 PSI

NOTE: ALL MAY NOT APPLY

NOTE:
FOOTER DEPTH HAS BEEN
DESIGNED FOR LOCAL SCOUR IN
ACCORDANCE W/ASCE 7-22
SUPPLEMENT 2 SECTION 5.3.8.1
& 5.3.8.2

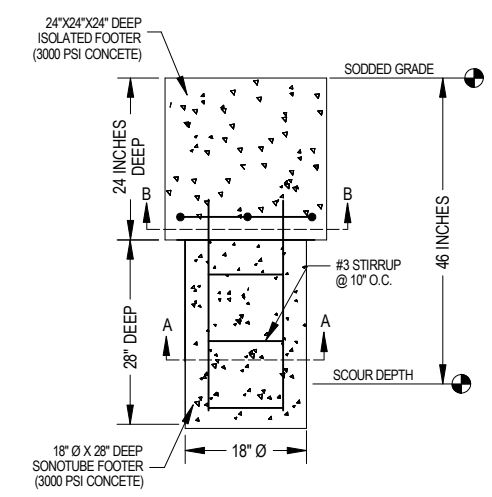
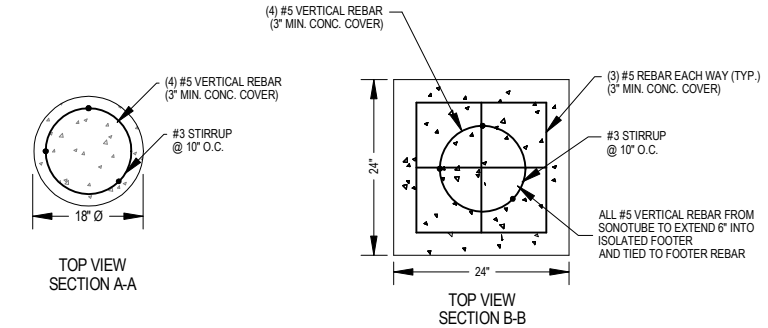
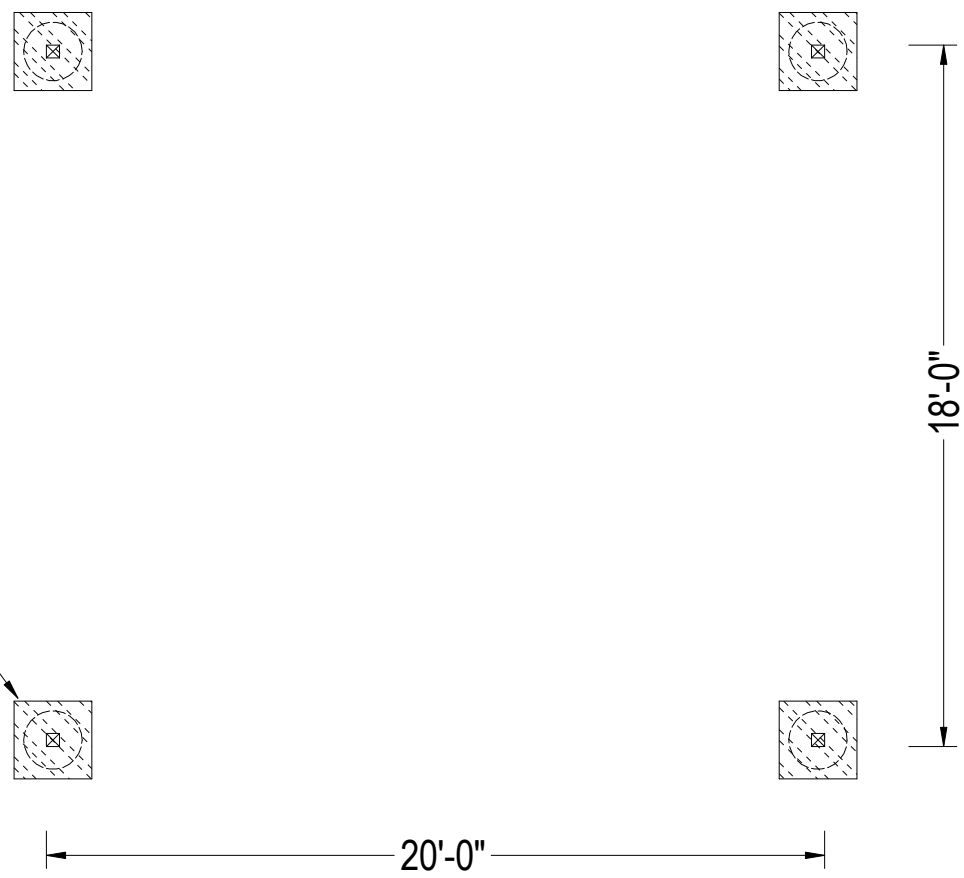
FLORIDA ENGINEERING LLC
 4161 TAMiami TRAIL, UNIT 101
 PORT CHARLOTTE, FLORIDA 33952
 (941) 391-5980
 FLEng.com
 Orders@FLEng.com



PROJECT NO. 2607770

CA CERT. #30782

24"X24"X24" DEEP
ISOLATED FOOTER OVER
18" Ø X 28" SONOTUBE FOOTER
(3" MIN. CONC. COVER) (TYP.)



ISOLATED CONCRETE FOOTER OVER
SONOTUBE CONCRETE FOOTER DETAIL
SCALE: N.T.S.

CONTRACTOR:
BOYLES ALUMINUM & SCREENING

PROJECT ADDRESS:
LAUDERDALE
330 PINEAPPLE ST
TARPON SPRINGS FLORIDA, 34689

DESIGN DATE:	04/06/2026
REVISION 1:	DATE
REVISION 2:	DATE
DRAWN BY:	ST
SCALE:	Page 67 of 104

Product Approval Specification Sheet

As required by Florida Statute 553.842 and Florida Administration Code 61G20-3.006, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a permit. We recommend you contact your local supplier should you not know the product approval number for any of the applicable listed products.

Instructions

Select your category and fill in the "Approval Numbers" in the provided spaces.

Please use the correct number and version including the decimal point. Example 1234.5

INSTRUCTIONS

Please complete this form fully and **DOWNLOAD (print button)** to submit with the associated development application. Applications must be submitted **DIGITALLY** through the [Building Permits GoPost Portal](#)

Category	Approval Numbers	Approval Numbers
Exterior Doors -- Select One --	Approval Numbers	Approval Numbers
	<input type="text"/>	<input type="text"/>
Windows -- Select One --	Approval Numbers	Approval Numbers
	<input type="text"/>	<input type="text"/>
Panel Wall -- Select One --	Approval Numbers	Approval Numbers
	<input type="text"/>	<input type="text"/>
Roofing Other	Approval Numbers	Approval Numbers
	<input type="text" value="7561.1"/>	<input type="text"/>
Shutters -- Select One --	Approval Numbers	Approval Numbers
	<input type="text"/>	<input type="text"/>

Signatures

-- Select One --



Approval Numbers

Approval Numbers

Structural Components

-- Select One --



Approval Numbers

Approval Numbers

Electronic Signature Agreement

By checking the "I agree" box below, you agree and acknowledge that 1) your application will not be signed in the sense of a traditional paper document, 2) by signing in this alternate manner, you authorize your electronic signature to be valid and binding upon you to the same force and effect as a handwritten signature, and 3) you may still be required to provide a traditional signature at a later date.

I agree.

Electronic Signature

Craig Boyle

Print/Download Instructions

Please complete this form fully and **DOWNLOAD (print button)** to submit with the associated development application. Applications must be submitted **DIGITALLY** through the [Building Permits GoPost Portal](#)



CITY OF TARPON SPRINGS
HERITAGE PRESERVATION BOARD
July 6, 2026

STAFF REPORT, June 26, 2026

Application No. / Project Title: 26.41 / Tarpon Registry

Staff: Caroline Lanford, AICP CTP
Principal Planner

Applicant / Owner: Joe Harrington, Applicant / Community Redevelopment Agency (CRA) of City of Tarpon Springs, Owner

Property Size: 8,089 square feet | \cong 0.18 acres

Current Zoning: T5b Tarpon Ave Main Street, Downtown Character District

Location / Parcel ID: 144 E Tarpon Avenue / 12-27-15-89982-067-0300

Architectural Type/District Status: Vacant Lot

BACKGROUND SUMMARY:

The applicant is seeking a Certificate of Appropriateness to construct a new two-story mixed-use development on a vacant lot at the subject property. The subject property was formerly the site of G.E. Noblit building and two other single-story commercial structures that were demolished. The subject property was acquired by the City in 2009, and the lot was purchased by the Community Redevelopment Agency (CRA) in 2013.

The original historic building at the site was a two-story structure constructed circa 1906 of rusticated concrete block. The G.E. Noblit building housed a hardware store and bakery on the first floor and residential apartments on the second floor. This structure featured a balcony with shed roof and iron railings, a decorative cornice, and a face block inscribed with the name of the original owner and the date of construction: "G. E. Noblit 1906". The G.E. Noblit building was unsympathetically altered in the 1960's with the removal of the cornice and the addition of a mid-century modern façade.

In 2008, the subject property housed two buildings in addition to the G.E. Noblit building. 138 E. Tarpon Avenue was a single-story masonry structure approximately 10' wide x 80' deep with rusticated block arch recessed entry and an overhead canopy. A warehouse building was constructed in the 1960's behind 138 and 144 Tarpon Avenue.

The City engaged the services of structural engineers to determine the feasibility of rehabilitation of the historic structures in 2008. All three buildings on site at the time were determined to be structurally unsound, and the buildings were demolished. The property was then sold to the CRA for redevelopment purposes.



The City and the CRA Board have sought to attract redevelopment to the vacant lot, known locally as the "Forbes" property, for many years. In February 2025, the City and CRA hosted an Industry Day to discuss the site with developers and interested parties.

In April 2025, the CRA issued an Invitation to Negotiate development proposals for the site with mixed uses, including retail/restaurant/residential/office. Three submissions were received by the June deadline, and an evaluation team met in August to review and make recommendations to the CRA Board. The Board of City Commissioners, acting in their role as the CRA Board, met to consider the proposals in October of 2025. "The Registry" was the top ranked proposal and the City entered negotiations with the applicant. The subject of this application for a Certificate of Appropriateness is the product of the negotiation process.

PRELIMINARY STAFF RECOMMENDATION:

Staff recommends **approval** of the project with the following conditions:

1. The historic marble name and date block shall be incorporated into the construction of the new structure in a manner that pays homage to the historic structure without giving the false impression that the new structure is historic.
2. An archway shall be incorporated into the design of the new courtyard entry to restore the rhythm of the historic streetwall. This condition may be met with a physical arch or an arch design in the brickwork of the façade.
3. The Certificate of Appropriateness will expire in three (3) years if a building permit has not been issued for the project.

HISTORIC DISTRICT CONSIDERATIONS:

1. When considering this application, the Heritage Preservation Board (HPB) is encouraged to refer to the DRGM, especially 3, 4, 5, 6, 7, 12, 14, 30, 34, 35, 36, 37, 39, 75, 78, 79, 80, 81, 82, 83, 86, and 87. The DRGM can be accessed at the following link:
<https://www.ctsfl.us/DocumentCenter/View/639/Historic-District-Design-Review-Guidelines-Manual-PDF?bidId=>

REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROPRIATENESS

Pursuant to Section 109.01, Standards for Review:

- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Appropriateness, the Board shall consider the following criteria:

(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.

ANALYSIS: The proposed height (30') and width (the width of the property, 50') of the proposed development is consistent with adjacent contributing structures. The site plan includes a slight, varying side setback on the west side and is proposed to be constructed to the lot line on Tarpon Avenue and



Court Street. The majority of the contributing structures on Tarpon Avenue are two-story of similar heights, built to the lot line on Tarpon Avenue.

(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

ANALYSIS: The DRGM provides the following guidance for windows and doors on new construction:

Guideline 34. Windows on New Construction

- a. On new buildings, window types, proportions, and alignment should be typical of the type of building being constructed and sensitive to the historic district.
- b. Similar window spacing patterns should be used on new construction as are used on historic buildings of the same type in the same neighborhood.
- c. Historic window mullions should be simulated or mirror true divided light that coordinates with those in the historic building. Removable, snap-in, or “between the glass” muntins should be avoided.
- d. The ratio of windows to wall on the primary street elevations for new construction should be similar to historic structures.

Guideline 35. Doors on New Construction

- a. Doors on new construction should be complementary to the style and scale of the design of the building and complementary to similar buildings throughout the district.

The proposed storefront doors and windows are typical of commercial buildings. The proposed simple design is sensitive to the historic district, consistent with the surrounding architecture in terms of proportions, spacing, and alignment without attempting to reproduce a false historic appearance. The first-floor entry of the Tarpon Avenue façade utilizes a double full pane door with sidelights and transoms, consistent with the character of the surrounding neighborhood. The full pane French-style aluminum doors on the second floor of the Tarpon Avenue façade provide a fenestration rhythm and ratio complimentary to surrounding two-story contributing structures, providing light and functionality without attempting to create a false historic appearance.

The proposed Court Street façade is similar to the Tarpon Avenue façade, with the exception of the use of divided light windows, rather than French-style doors on the second story. The proportions, spacing and alignment are sensitive to the character of the streetscape and the surrounding architecture.

(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.

ANALYSIS: The proposed construction would alter the *existing* streetscape but would restore the rhythm of the historic streetscape. The parcel has been vacant since 2009, but historically the parcel



was the site of a two-story commercial structure similar to the proposed project. The proposed courtyard opening on Tarpon Avenue façade mimics the rhythm of the historic streetwall and creates a transitional space between the public and semi-public realm.

The proposed setbacks, roofline, and access for the property conform to district standards and are similar to other properties in the immediate vicinity.

(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.

ANALYSIS: The use of a flat roof for a commercial building is consistent with the surrounding commercial architecture along Tarpon Avenue. All of the contributing structures in the immediate vicinity, with the exception of the Train Depot (FMSF 8PI1651), have flat roofs.

(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.

ANALYSIS: The size and mass of the proposed structure is compatible with contributing structures in the district and neighboring structures in the vicinity.

(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.

ANALYSIS: A landscaping plan will need to be developed to conform with code requirements as part of the building permitting process.

(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.

ANALYSIS: Not applicable.

(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.

ANALYSIS: Not applicable.



(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

ANALYSIS: The following standards are applicable to this project:

(9) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The HPB should satisfy themselves that the proposed project would not significantly adversely impact the historic character and longevity of the district to meet the intent of the Secretary's standards.

(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.

ANALYSIS: The proposed project conforms with the Land Development Code and generally complies with the Comprehensive Plan.

(11) The impact upon archaeological sites shall preserve the integrity of the site.

ANALYSIS: No known archaeological sites will be impacted.

PUBLIC CORRESPONDENCE:

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. Staff have not received any responses to these notices.

ATTACHMENTS:

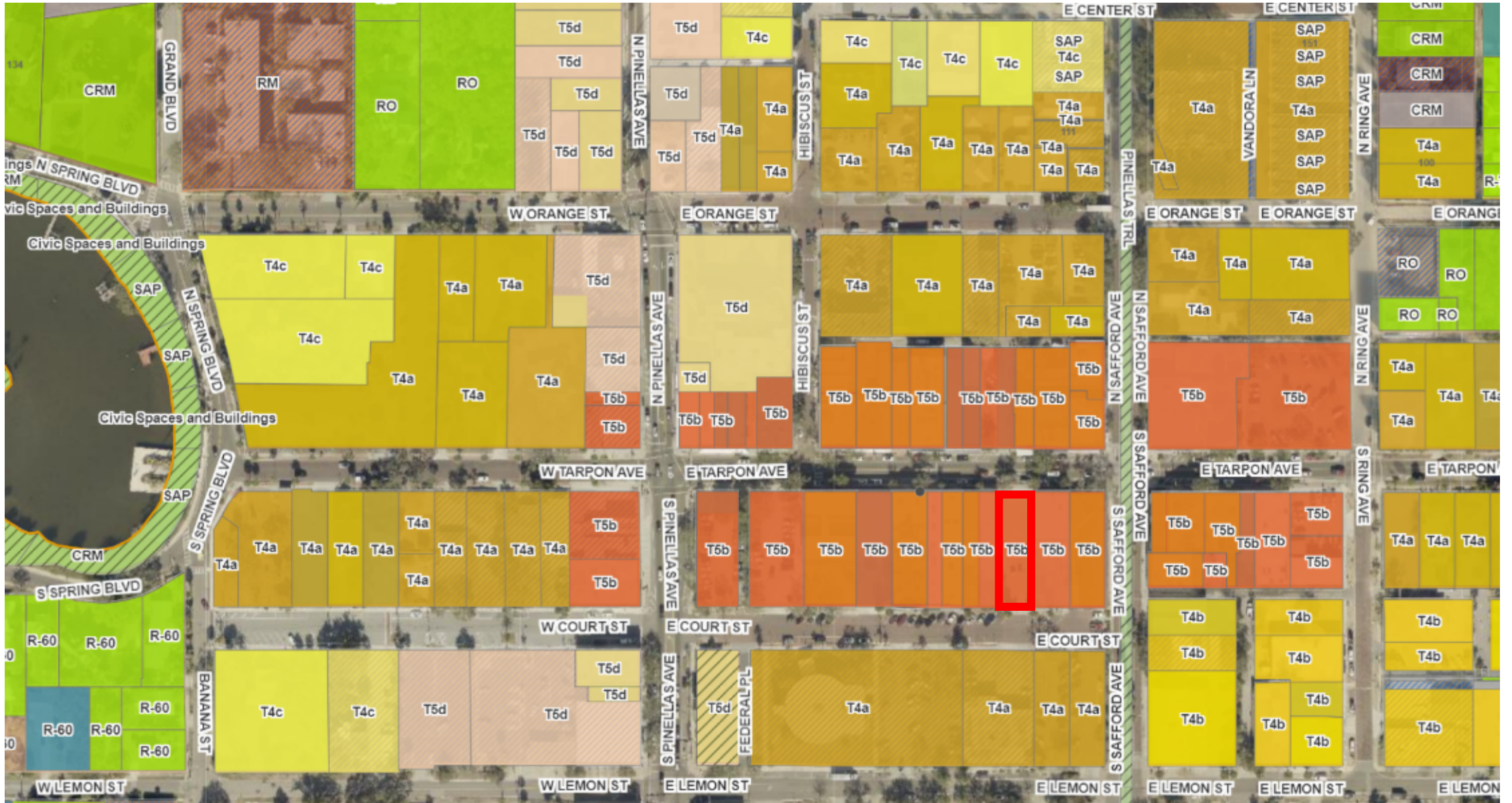
1. Slide Presentation
2. Application and supporting materials

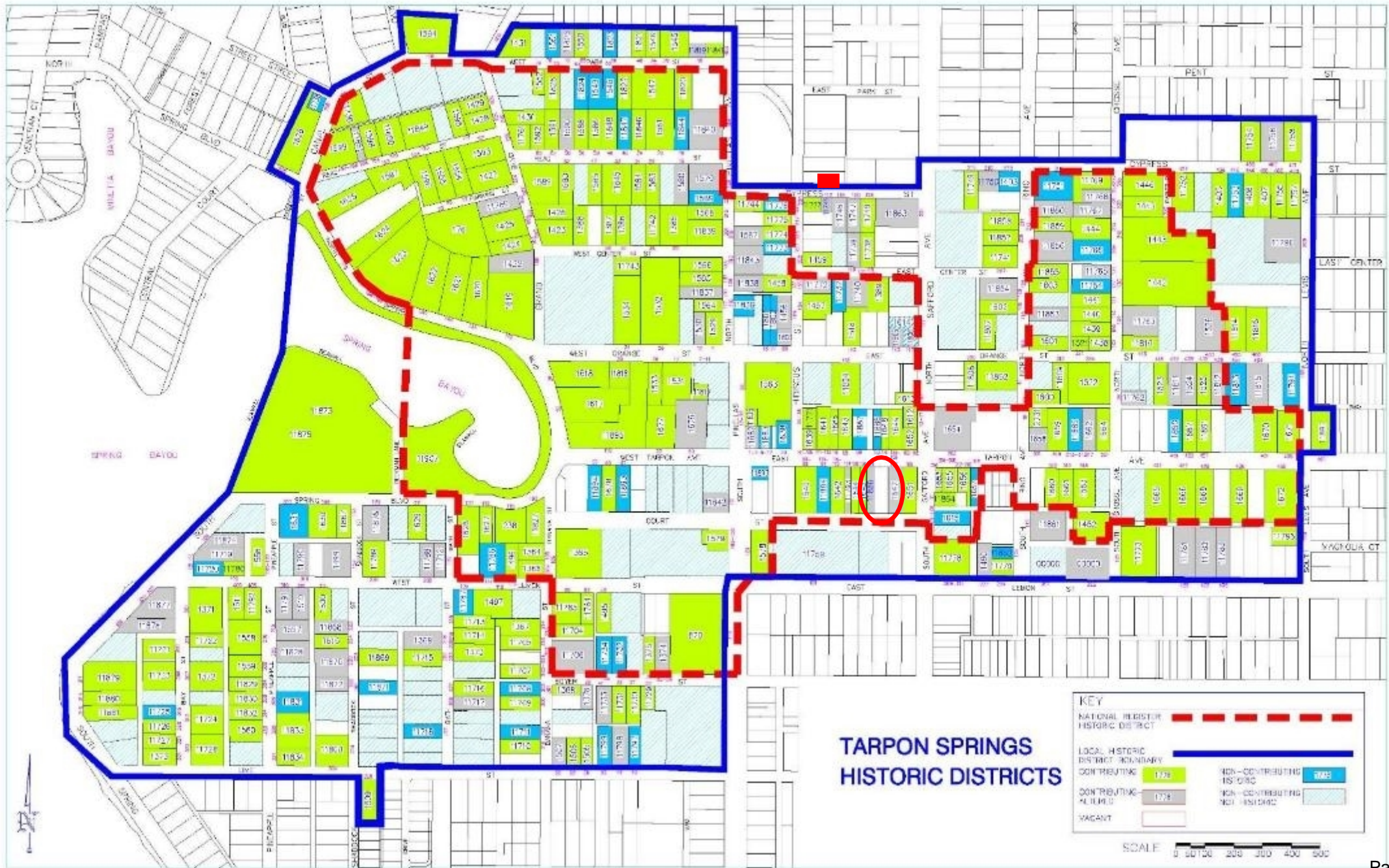
TARPON REGISTRY APPLICATION #26.41

Heritage Preservation Board, July 6, 2026



LOCATION AND LAND USE CONTEXT





PROPERTY INFORMATION

- Lot Size: 8,089 square feet | \cong 0.18 acres
- Current Zoning: T5b Tarpon Ave Main Street, Downtown Character District
- Location / Parcel ID: 144 E Tarpon Avenue / 12-27-15-89982-067-0300
- Architectural Type/Style: N/A
- District Status: Non-Contributing, Non-Historic
- Owner / Applicant: Tarpon Springs CRA, Owner / Joe Harrington, Applicant

REQUEST

Certificate of Appropriateness to:

- Construct a new, two-story, mixed-use building on a vacant lot within the downtown National Register of Historic Places and local historic district.

G.E. NOBLIT BUILDING - 144 E TARPON AVENUE



MARBLE NAME & DATE BLOCK
(DIMENSIONS: 48" W x 16.5" H x 2" D)



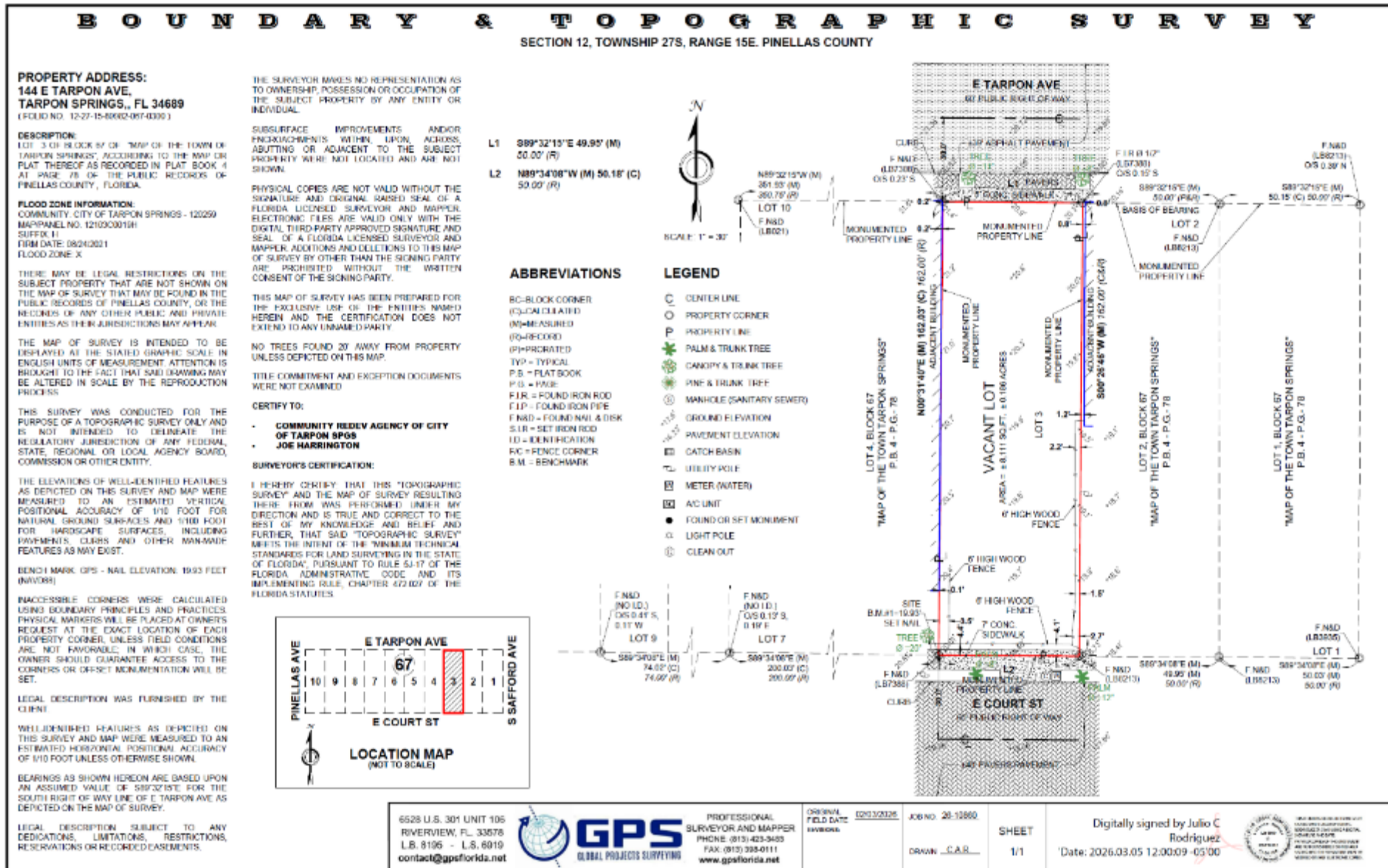
G.E. NOBLIT BUILDING - 144 E TARPON AVENUE, 2008



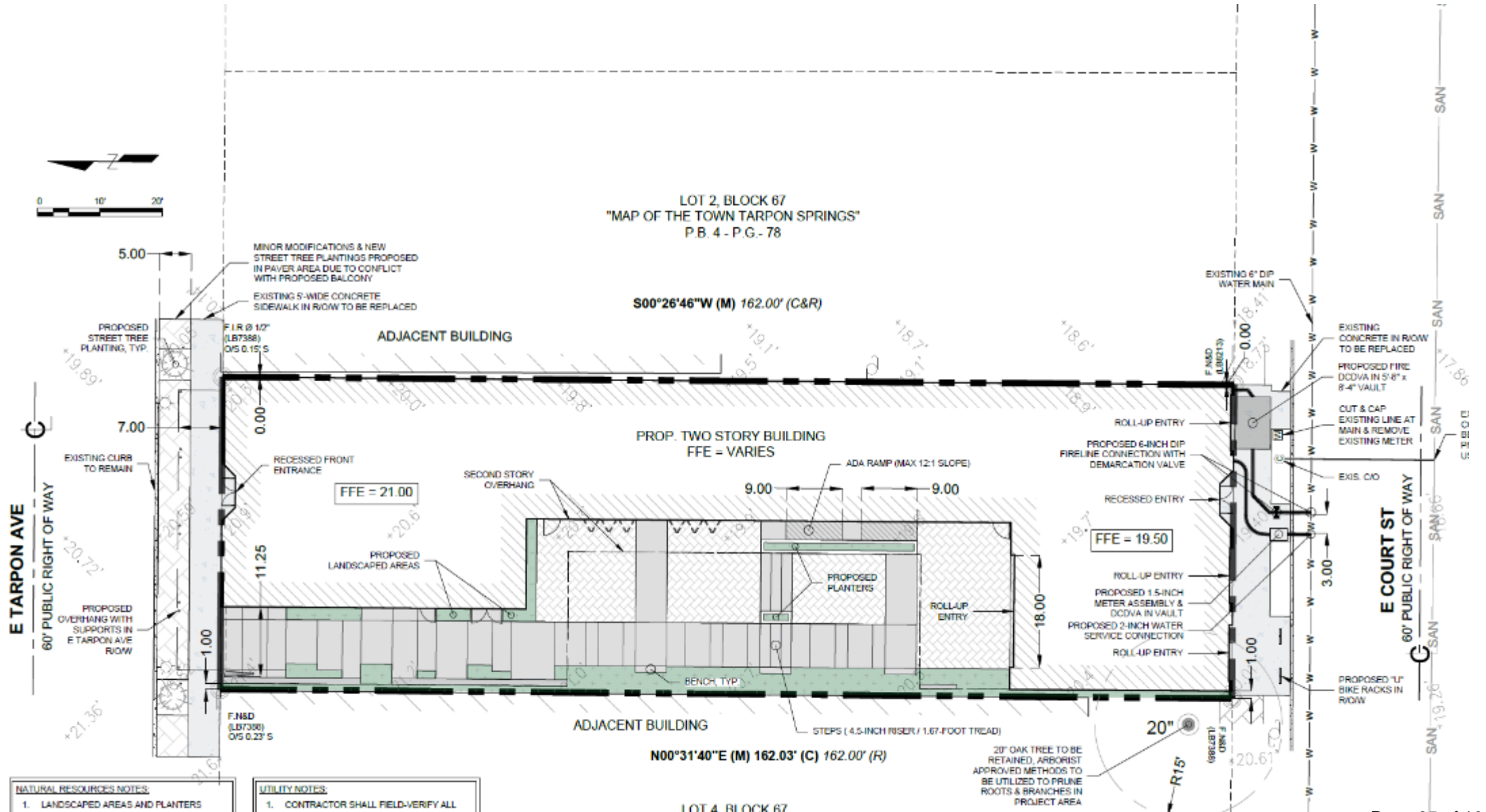
138 E TARPON AVENUE



144 E TARPON AVENUE - SURVEY



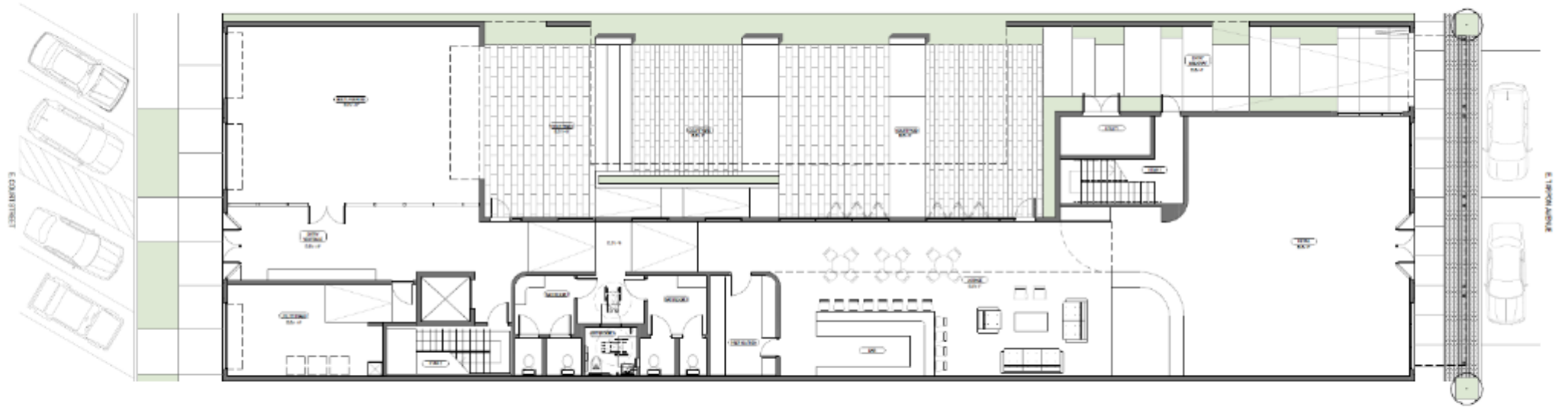
144 E TARPON AVENUE – SITE PLAN




NATURAL RESOURCES NOTES:
1. LANDSCAPED AREAS AND PLANTERS

UTILITY NOTES:
1. CONTRACTOR SHALL FIELD-VERIFY ALL

PROPOSED PROJECT – 144 E TARPON AVE FLOOR PLAN



 LEVEL 1 - FLOOR PLAN
1/8" = 1'-0"

PROPOSED PROJECT – 144 E TARPON AVE FLOOR PLAN



LEVEL 2 - FLOOR PLAN
1/8" = 1'-0"

PROPOSED PROJECT – 144 E TARPON AVE ELEVATIONS

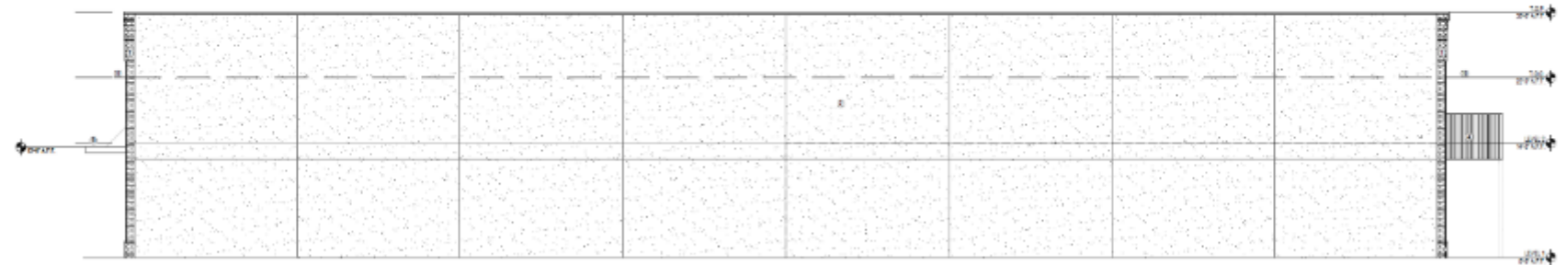
MATERIAL LEGEND	
1.	BRICK
2.	STUCCO - PAINTED
3.	ALUMINUM STOREFRONT/DOORS
4.	METAL RAILS ON LEVEL 2 (STANDARD BALCONY)
5.	METAL RAILS ON LEVEL 2 (JULIET BALCONIES)
6.	OVERHEAD DOOR WITH GLAZED PANELS
7.	OVERHEAD DOOR SOLID
8.	ALUMINUM CANOPY
9.	ALUMINUM DOWNSPOUT
10.	ALUMINUM CANOPY /EYEBROW
11.	ALUMINUM SIGNAGE - BACK LIT



COURTYARD - WEST ELEVATION 07
1/8" = 1'-0"



WEST ELEVATION 06
1/8" = 1'-0"



EAST ELEVATION 05
1/8" = 1'-0"

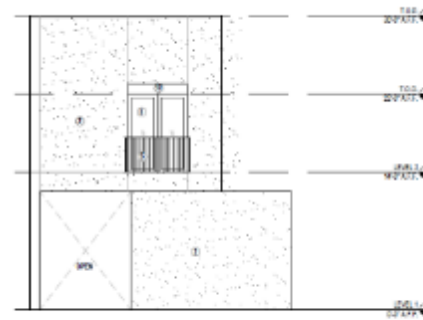
PROPOSED PROJECT – 144 E TARPON AVE ELEVATIONS



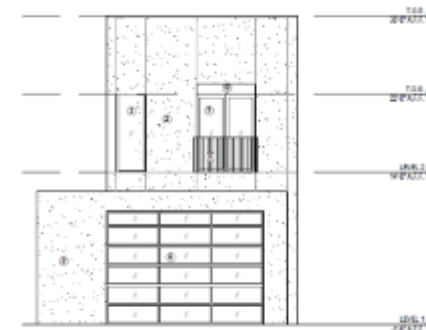
SOUTH ELEVATION **02**
1/8" = 1'-0"



NORTH ELEVATION **01**
1/8" = 1'-0"



COURTYARD - SOUTH ELEVATION **04**
1/8" = 1'-0"



COURTYARD - NORTH ELEVATION **03**
1/8" = 1'-0"

PROPOSED PROJECT – 144 E TARPON AVE RENDERINGS



E. TARPON AVENUE ELEVATION **04**
N.T.S.

PROPOSED PROJECT – 144 E TARPON AVE RENDERINGS



E. TARPON AVENUE ENTRY **03**
N.T.S.

PROPOSED PROJECT – 144 E TARPON AVE RENDERINGS



E. COURT STREET ELEVATION **02**
N.T.S.

PROPOSED PROJECT – 144 E TARPON AVE RENDERINGS



COURTYARD
N.T.S. **01**

STANDARDS FOR REVIEW – CERTIFICATE OF APPROPRIATENESS

- 1) New construction consistency.
- 2) Windows, doors and entries.
- 3) Neighborhood and district context.
- 4) Roof shape and texture.
- 5) Size and massing / shape.
- 6) Landscaping.
- 7) Architectural features.
- 8) Adherence to period of construction.
- 9) Adherence to Secretary's Guidelines.
- 10) Conformance with other City code requirements.
- 11) Impact upon archeological sites.

DESIGN GUIDELINES REVIEW MANUAL



4.11 Universal Guidelines for New Construction

Please see General Guidelines at the beginning of this chapter, for additional guidance.

Building form is an important component of the streetscape, the largest element within the streetscape, and tends to command our attention most strongly. "Form" refers to the shape and massing of a building. Historic downtown commercial buildings, for example, often have a form that is boxy (rectangular), tall in proportion, and long or deep.

In planning new construction in the Tarpon Springs Historic District, building form and streetscape elements should be carefully considered. Streetscape elements can reinforce the area's attractiveness and make it a desirable place to live or do business. All new construction must meet all applicable Zoning Ordinance requirements.

Guideline 30. New Construction

- a. New buildings should be compatible with adjacent structures in terms of massing, proportion, size, and scale.
- b. For a taller building, transitions in height shall be created by matching building heights at the front façade and at sides facing adjacent buildings. Taller parts of the building shall be set back from the front façade.
- c. For wider buildings, compatibility of width shall be created by breaking up building mass, using building articulation (details, windows, or doors), or dividing the building into widths that match or are proportional to widths of nearby buildings.
- d. New buildings should be placed on existing vacant lots whenever possible and should match the setback of surrounding structures.
- e. Parking lots or parking structures should be placed at the rear of the lot whenever possible. Ideally, access to them should be from an alley to lessen the number of curb cuts along main streets.
- f. New buildings should be oriented to face the street rather than turned inward, skewed, or oriented at angles to the existing street grid.
- g. The principal façade and main entrances shall face the street. Blank or windowless walls on the front façade or street-side are not appropriate.
- h. Building setbacks shall conform with the historic or predominant setback along the street.
- i. Spacing between buildings shall be consistent with the historic buildings along the street.
- j. The alignment of porches, bay windows, balconies, and delineation between lower and upper floors shall be similar to the alignment of these same features on adjacent buildings.
- k. The relationship of the window openings (size and shape), pattern and placement, and placement of entrances (size and shape) along the street shall be similar to the nearby buildings.
- l. Vehicular access to the property shall be compatible with the district's historic context. For example, the use of alleys as opposed to creating front yard driveways.
- m. For commercial districts, parking areas and access should be placed to the rear. The side yard may be used as an alternative location for access and parking if no other feasible alternative can be found.
- n. For commercial areas, there shall be a continuous rhythm of buildings located side-by-side.
- o. Form for new buildings within the Transect-Based Infill Code of the City's Special Area Plan (SAP) should be coordinated with "Table 4C Building Form - Private Frontages" contained in that code. See [Appendix G](#) for map and illustrations.

PRELIMINARY STAFF RECOMMENDATION

Staff recommends **approval** of the project, with the following conditions:

1. The Certificate of Appropriateness will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. No responses to the notices have been received.

Certificate of Appropriateness Form



CITY OF TARPON SPRINGS
PLANNING & ZONING DEPARTMENT
 324 E. Pine Street, Tarpon Springs, FL 34689
 (727) 942-5611 / planning@ctsf.us

INSTRUCTIONS

Please complete this form fully and **DOWNLOAD (print button)** to submit in addition the [General Planning and Zoning Application](#). Applications must be submitted **DIGITALLY** through the [Planning and Zoning goPost portal](#).

Project Name*

The Tarpon Registry

Project Location*

144 E Tarpon Ave

Type of Activity (Check all that apply)*

- | | |
|--|---|
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Relocation* |
| <input type="checkbox"/> Deck/Patio | <input type="checkbox"/> Renovation |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Driveway | <input type="checkbox"/> Signs |
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Structural Addition |
| <input type="checkbox"/> Parking Lot | <input type="checkbox"/> Windows/Doors/Solar Panels |

*If Relocation, provide the following information:

New Address / Location

Address / General Location

New Tax Parcel ID

Parcel ID from Pinellas County Property Appraiser

[Lookup Parcel ID](#)

New Land Use

AC (Activity Center) ▼
Choices are Alphabetized
[Lookup Land Use](#)

New Zoning

T5b ▼
Choice are Alphabetized
[Lookup Zoning](#)

Year Built*

2028

Architectural Style*

Historically compatible

Porches*

- Yes
 No

Original Use*

Demolished

Present Use*

Vacant Land

Proposed Use*

15 room boutique hotel / ground floor retail, event, and lounge

Roof Type*

flat w/ parapet

Roof Material*

TPO

Exterior Siding Material*

Brick, stucco

Previous Additions or Modifications*

Lot has been vacant since 2008

Description of Proposed Work*

New construction, see included design package.

For Relocation or Demolition

Describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible.

Heritage Preservation Board (HPB) Review Standards

Please note, in reviewing an application for a Certificate of Appropriateness, the Board must consider the standards outlined in [LDC Section 109.01\(B\)](#).

Electronic Signature Agreement*

By checking the "**I Agree**" box below, you agree and acknowledge that **1)** this form will not be signed in the sense of a traditional paper document, **2)** by signing in this alternate manner, you authorize your signature on this form to be valid and binding to the same force and effect as a handwritten signature, and **3)** the information included in and with this form is completely true and correct to the best of your knowledge.

I Agree

Electronic Signature*

Joseph Harrington

Date*

4/16/2026

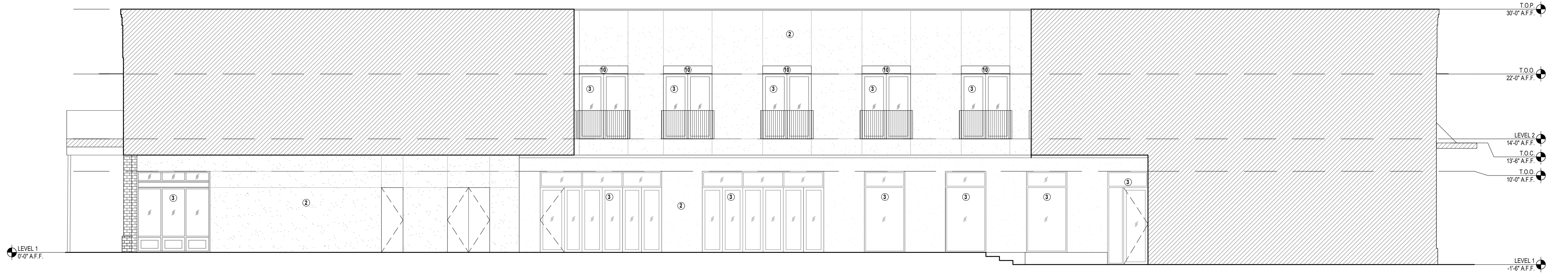
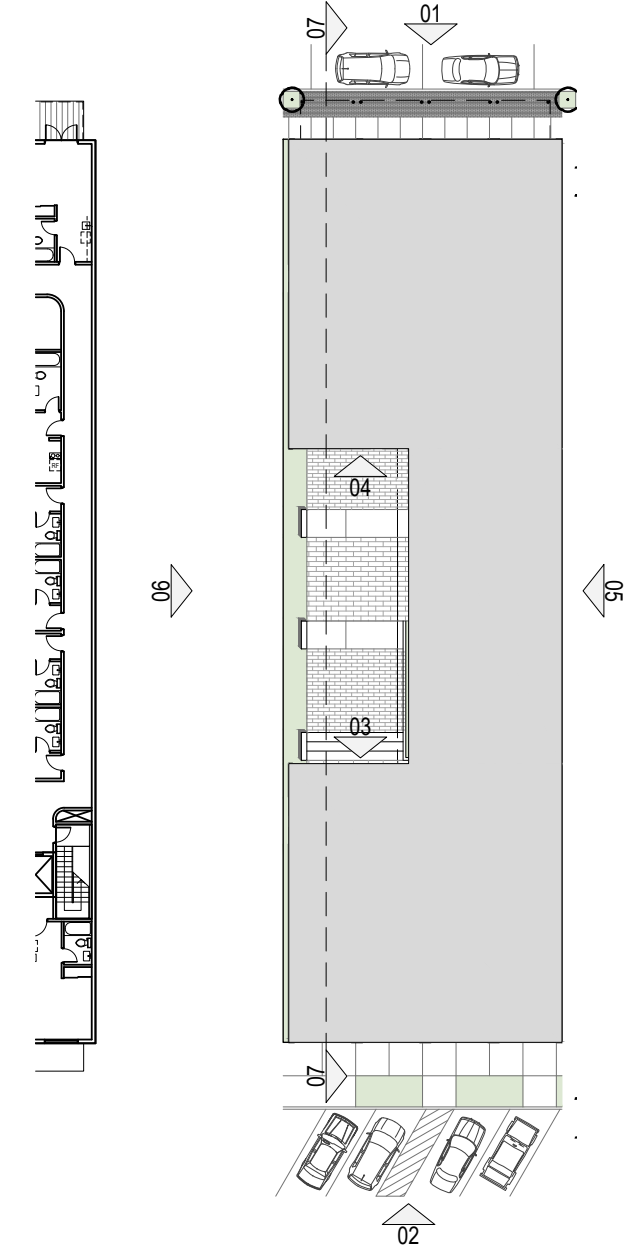
Steps to Download Form

1. Click the '**Print Only**' button below.
2. Your form will open in a new tab.
3. **Right click** on your mouse and **select 'Print'**.
4. Choose to print to '**PDF**'.
5. Save the form in your desired location.

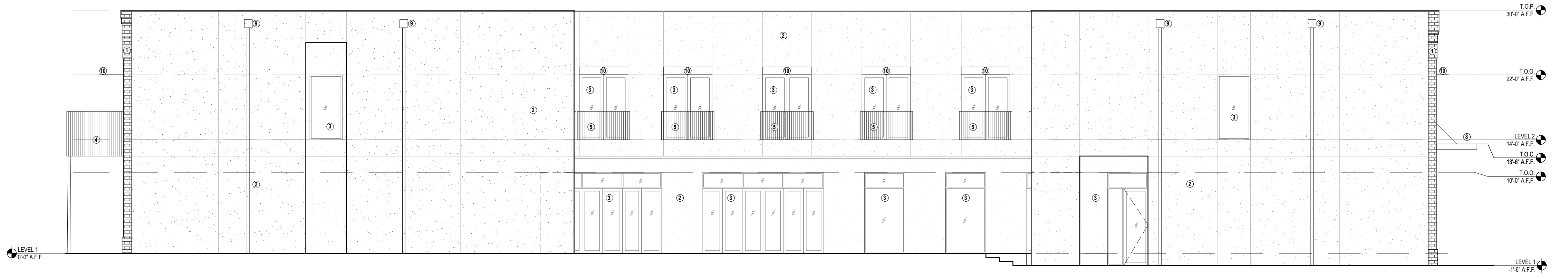
Need help? Give the Planning Department a call at [727-942-5611](tel:727-942-5611).

- MATERIAL LEGEND**
1. BRICK
 2. STUCCO - PAINTED
 3. ALUMINUM STOREFRONT/DOORS
 4. METAL RAILS ON LEVEL 2 (STANDARD BALCONY)
 5. METAL RAILS ON LEVEL 2 (JULIET BALCONIES)
 6. OVERHEAD DOOR WITH GLAZED PANELS
 7. OVERHEAD DOOR SOLID
 8. ALUMINUM CANOPY
 9. ALUMINUM DOWNSPOUT
 10. ALUMINUM CANOPY /EYEBROW
 11. ALUMINUM SIGNAGE - BACK LIT

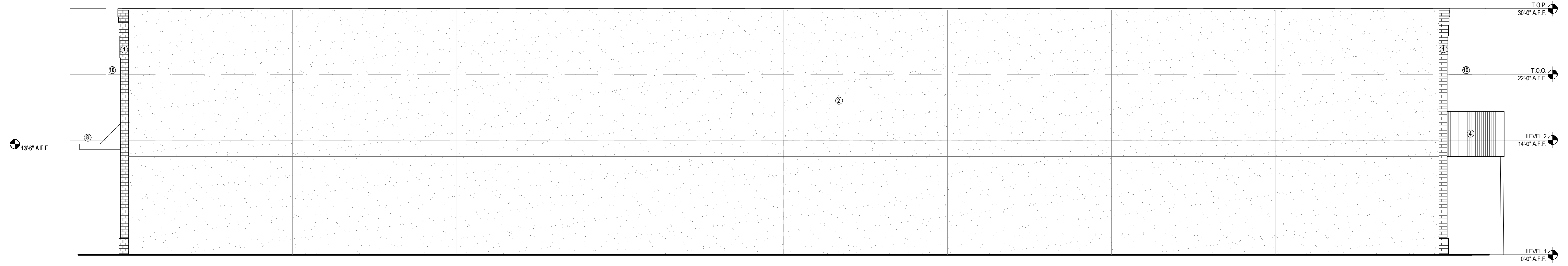
KEY PLAN



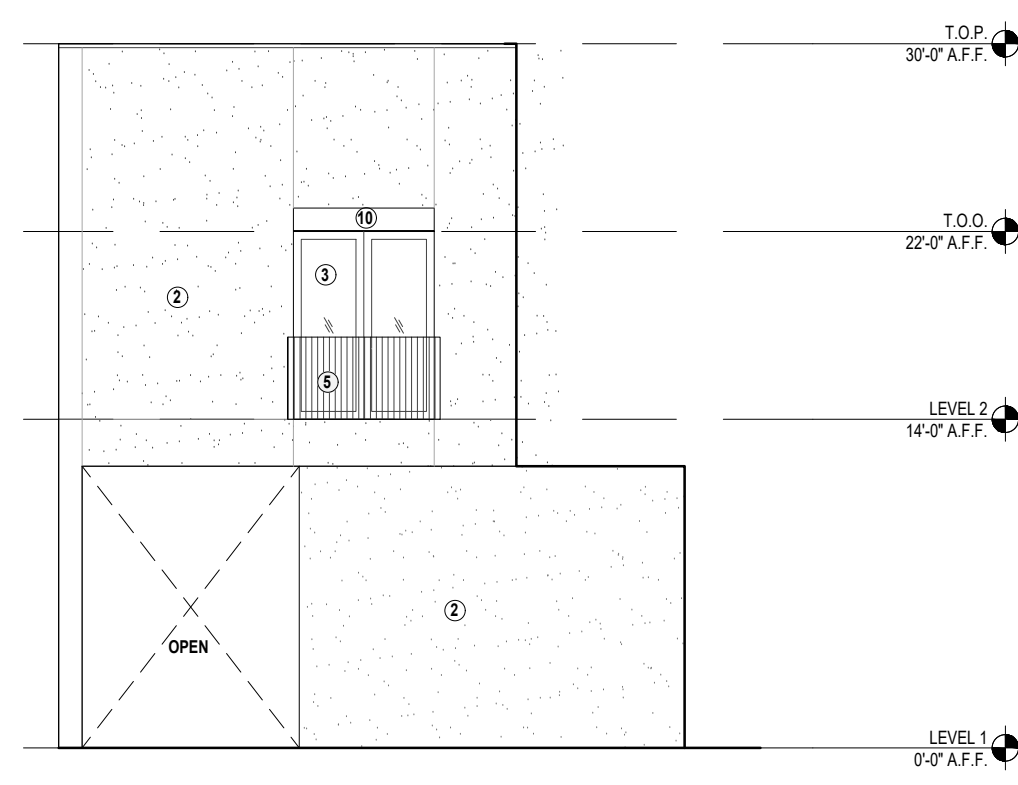
COURTYARD - WEST ELEVATION **07**
1/8" = 1'-0"



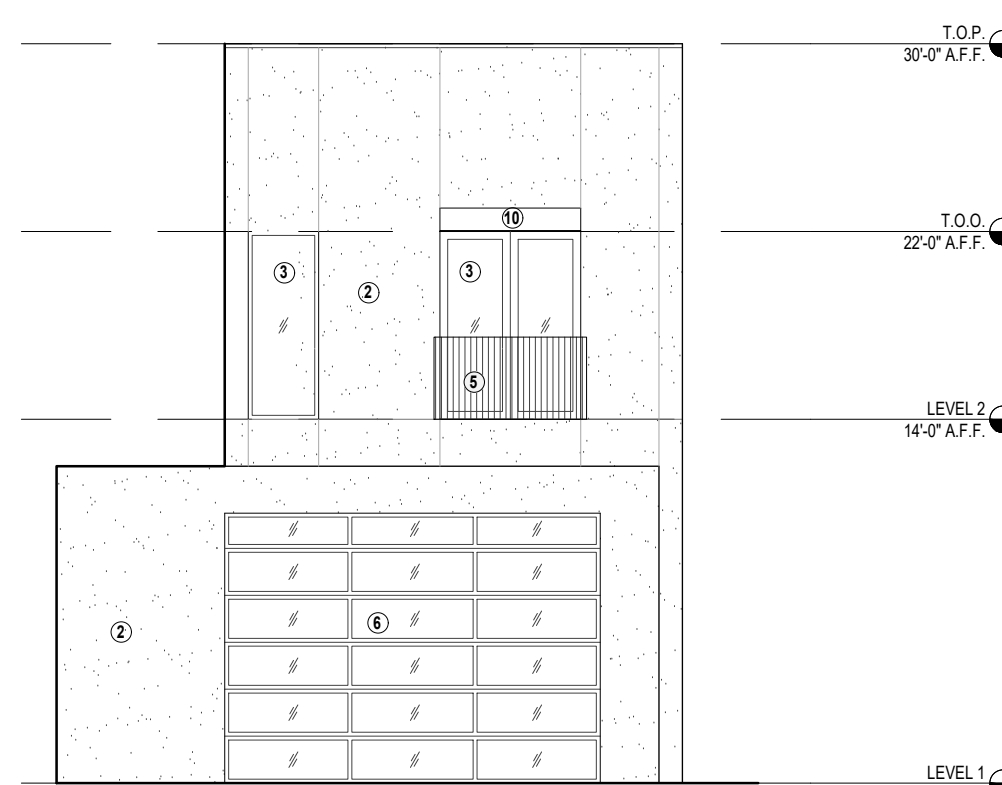
WEST ELEVATION **06**
1/8" = 1'-0"



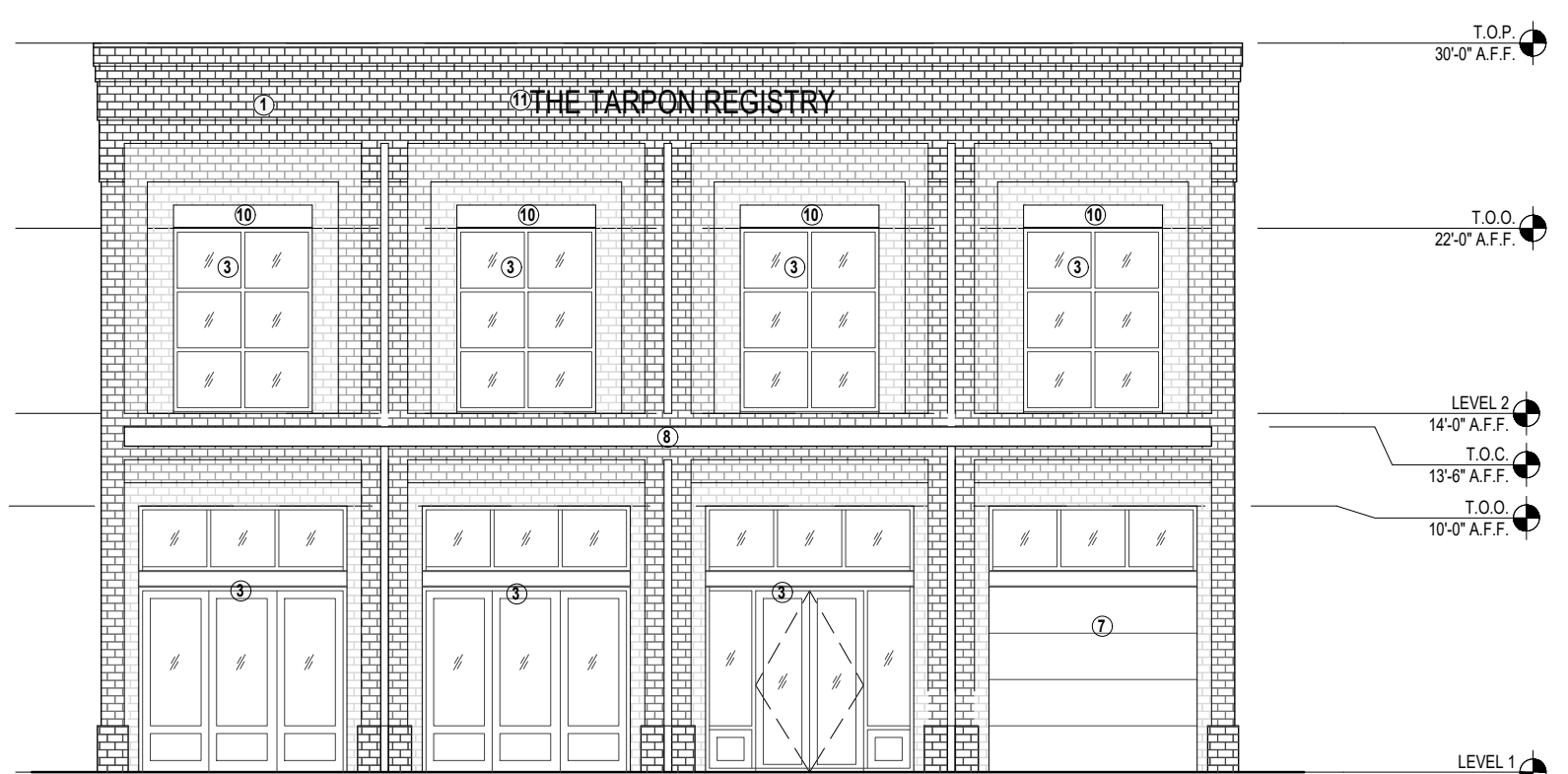
EAST ELEVATION **05**
1/8" = 1'-0"



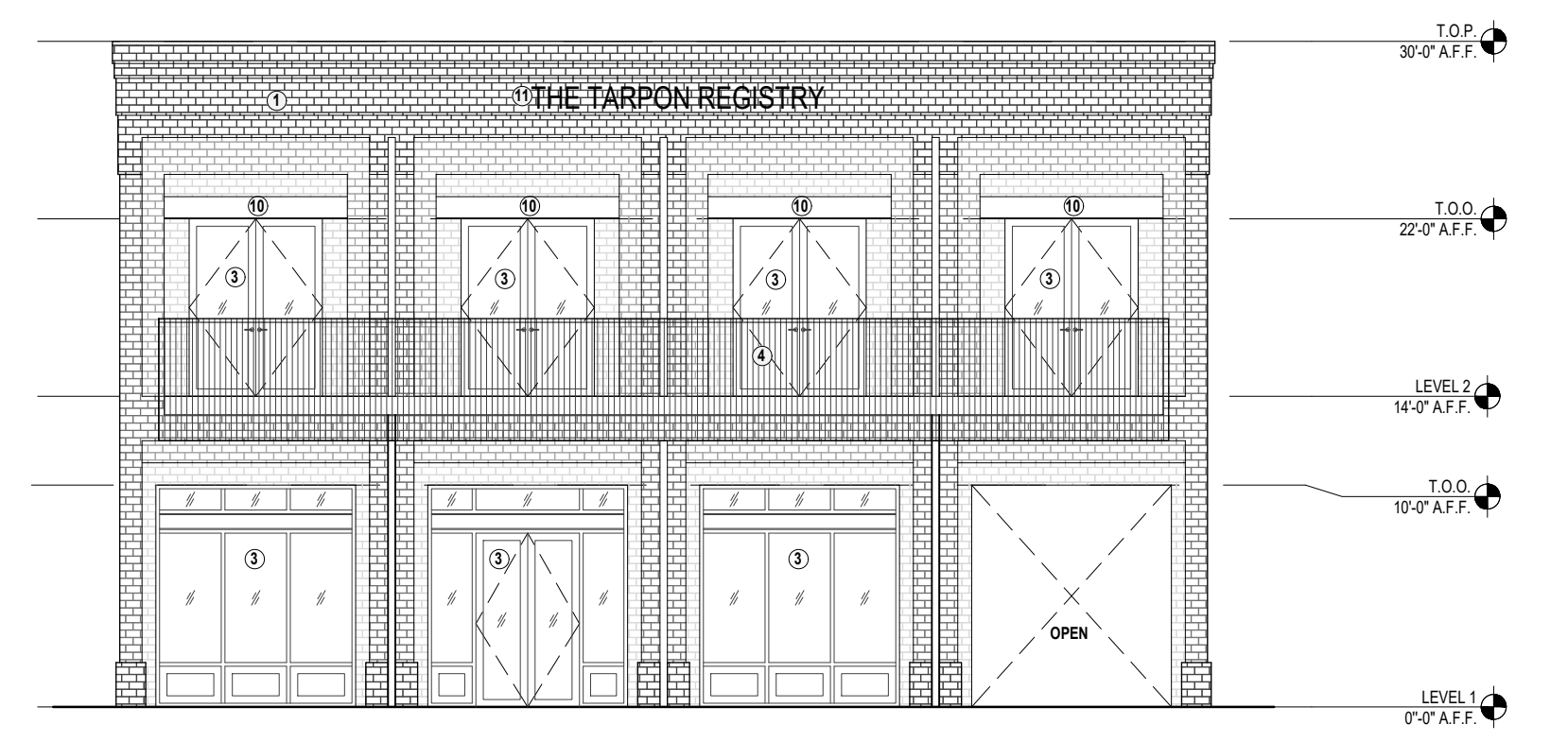
COURTYARD - SOUTH ELEVATION **04**
1/8" = 1'-0"



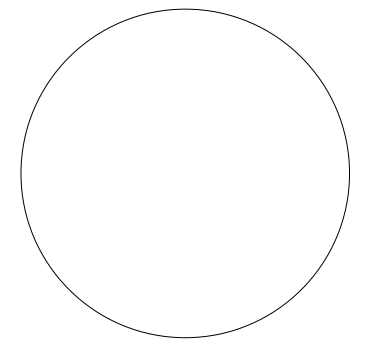
COURTYARD - NORTH ELEVATION **03**
1/8" = 1'-0"



SOUTH ELEVATION **02**
1/8" = 1'-0"



NORTH ELEVATION **01**
1/8" = 1'-0"



Revisions

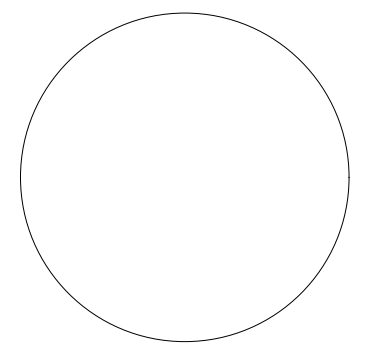
NOT FOR CONSTRUCTION

Notes

BUILDING ELEVATIONS

A2.0

Sheet No.



Revisions

NOT FOR CONSTRUCTION

Notes



E. TARPON AVENUE ELEVATION **04**
N.T.S.



E. TARPON AVENUE ENTRY **03**
N.T.S.



E. COURT STREET ELEVATION **02**
N.T.S.



COURTYARD **01**
N.T.S.

RENDERINGS

A3.0

Sheet No.

B O U N D A R Y & T O P O G R A P H I C S U R V E Y

SECTION 12, TOWNSHIP 27S, RANGE 15E. PINELLAS COUNTY

PROPERTY ADDRESS:
144 E TARPON AVE,
TARPON SPRINGS,, FL 34689
 (FOLIO NO. 12-27-15-89982-067-0300)

DESCRIPTION:
 LOT 3 OF BLOCK 67 OF "MAP OF THE TOWN OF TARPON SPRINGS", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 4 AT PAGE 78 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
 COMMUNITY: CITY OF TARPON SPRINGS - 120259
 MAP/PANEL NO. 12103C0019H
 SUFFIX: H
 FIRM DATE: 08/24/2021
 FLOOD ZONE: X

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PINELLAS COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A TOPOGRAPHIC SURVEY ONLY AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY BOARD, COMMISSION OR OTHER ENTITY.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

BENCH MARK: GPS - NAIL ELEVATION: 19.93 FEET (NAVD88)

INACCESSIBLE CORNERS WERE CALCULATED USING BOUNDARY PRINCIPLES AND PRACTICES. PHYSICAL MARKERS WILL BE PLACED AT OWNER'S REQUEST AT THE EXACT LOCATION OF EACH PROPERTY CORNER, UNLESS FIELD CONDITIONS ARE NOT FAVORABLE; IN WHICH CASE, THE OWNER SHOULD GUARANTEE ACCESS TO THE CORNERS OR OFFSET MONUMENTATION WILL BE SET.

LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

BEARINGS AS SHOWN HEREON ARE BASED UPON AN ASSUMED VALUE OF S89°32'15"E FOR THE SOUTH RIGHT OF WAY LINE OF E TARPON AVE AS DEPICTED ON THE MAP OF SURVEY.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

PHYSICAL COPIES ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ELECTRONIC FILES ARE VALID ONLY WITH THE DIGITAL THIRD-PARTY APPROVED SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

NO TREES FOUND 20' AWAY FROM PROPERTY UNLESS DEPICTED ON THIS MAP.

TITLE COMMITMENT AND EXCEPTION DOCUMENTS WERE NOT EXAMINED

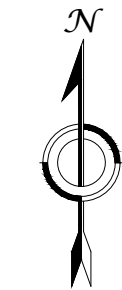
CERTIFY TO:

- **COMMUNITY REDEV AGENCY OF CITY OF TARPON SPGS**
- **JOE HARRINGTON**

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THIS "TOPOGRAPHIC SURVEY" AND THE MAP OF SURVEY RESULTING THERE FROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "TOPOGRAPHIC SURVEY" MEETS THE INTENT OF THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA STATUTES.

- L1 **S89°32'15"E 49.95' (M)**
50.00' (R)
- L2 **N89°34'08"W (M) 50.18' (C)**
50.00' (R)

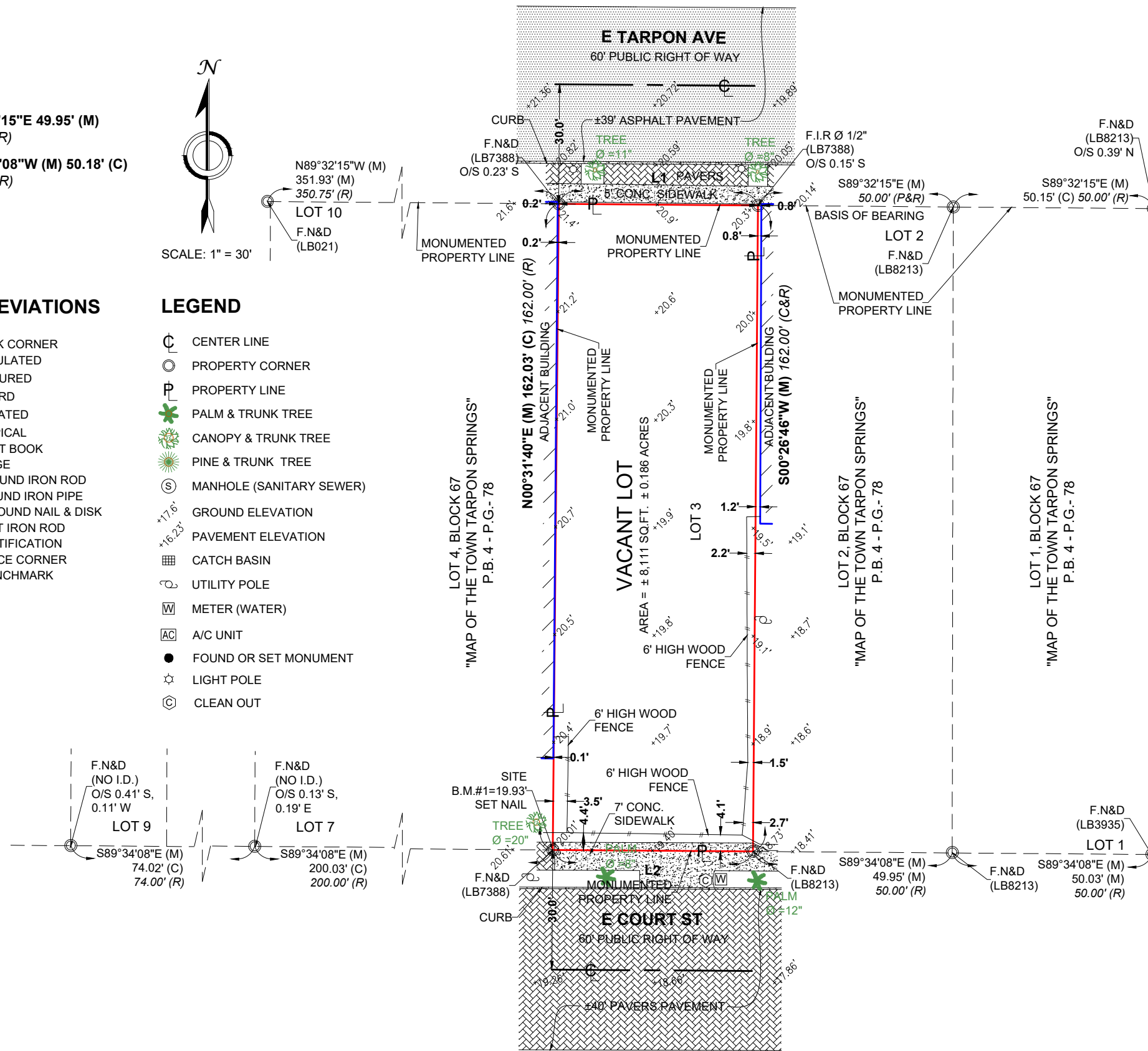
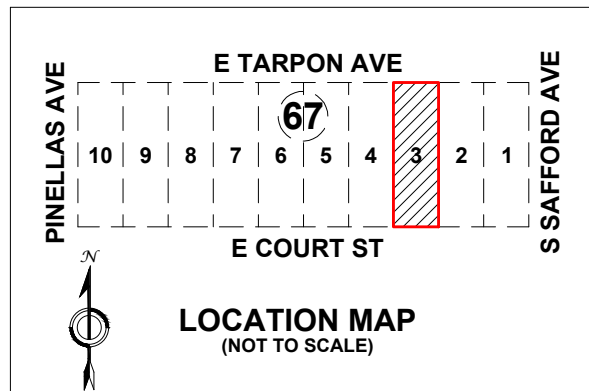


ABBREVIATIONS

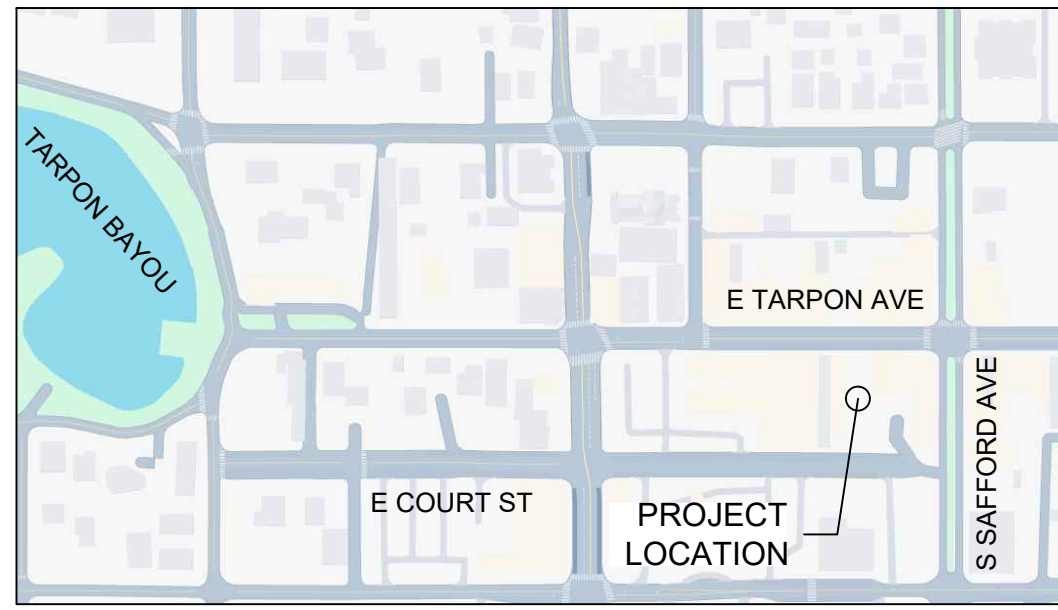
- BC=BLOCK CORNER
- (C)=CALCULATED
- (M)=MEASURED
- (R)=RECORD
- (P)=PRORATED
- TYP.= TYPICAL
- P.B. = PLAT BOOK
- P.G. = PAGE
- F.I.R. = FOUND IRON ROD
- F.I.P = FOUND IRON PIPE
- F.N&D = FOUND NAIL & DISK
- S.I.R = SET IRON ROD
- I.D = IDENTIFICATION
- F/C = FENCE CORNER
- B.M. = BENCHMARK

LEGEND

- ⊙ CENTER LINE
- ⊙ PROPERTY CORNER
- PROPERTY LINE
- ✪ PALM & TRUNK TREE
- ✪ CANOPY & TRUNK TREE
- ✪ PINE & TRUNK TREE
- ⊙ MANHOLE (SANITARY SEWER)
- +17.6' GROUND ELEVATION
- +16.23' PAVEMENT ELEVATION
- ▣ CATCH BASIN
- ⊙ UTILITY POLE
- ⊙ METER (WATER)
- ⊙ A/C UNIT
- FOUND OR SET MONUMENT
- ☆ LIGHT POLE
- ⊙ CLEAN OUT



6528 U.S. 301 UNIT 106 RIVERVIEW, FL. 33578 L.B. 8195 - L.S. 6919 contact@gpsflorida.net		PROFESSIONAL SURVEYOR AND MAPPER PHONE: (813) 423-3483 FAX: (813) 398-0111 www.gpsflorida.net	ORIGINAL FIELD DATE: 02/03/2026 REVISIONS:	JOB NO. 26-10860 DRAWN C.A.R. SHEET 1/1
---	--	--	---	---



VICINITY MAP

LEGAL DESCRIPTION:
 LOT 3 OF BLOCK 67 OF "MAP OF THE TOWN OF TARPON SPRINGS", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 4 AT PAGE 78 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

FLOOD ZONE INFORMATION:
 SUBJECT PARCEL SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X" ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY 120259 PANEL NUMBER 12103C0019H, EFFECTIVE DATE 08/24/2021.

BEARINGS:
 BEARINGS ARE BASED UPON AN ASSUMED VALUE OF S89°32'15"E FOR THE SOUTH RIGHT OF WAY LINE OF E TARPON AVE.

ELEVATIONS:
 ELEVATIONS ARE BASED UPON THE US DEPT OF TRANSPORTATION GPS NETWORK SYSTEM, NAVD '88. BENCHMARK UTILIZED IS A SET NAIL AT THE SOUTHEAST CORNER PARCEL HAVING AN ELEVATION OF 19.93'.

SITE DEMOGRAPHICS:
 ADDRESS: 144 EAST TARPON AVENUE
 TARPON SPRINGS, FL 34689
 PARCEL ID: 12-27-15-89982-067-0300
 PARCEL AREA: 8,112 SF (0.186 AC)
 ZONING: SAP (SPECIAL AREA PLAN) TRANSECT T5B, MAIN STREET
 FLU: AC (ACTIVITY CENTER)
 EXIST. USE: VACANT COMMERCIAL

MAIN STREET SAP ZONING DISTRICT:
 FRONT (E TARPON AVE): 0' MAX SETBACK
 FRONT (E COURT ST): 0' MAX SETBACK
 SIDE (INTERIOR): N/A
 MAX BLDG HEIGHT: 3 STORIES

STORMWATER NARRATIVE:
 PROJECT AREA IS LOCATED WITHIN THE ANCLOTE RIVER LANDFORM, PART OF THE ANCLOTE RIVER - CURLEW CREEK FRONTAL (HUC12 ID: 031002070503).

OUTFALL, VIA CITY OF TARPON SPRINGS STORMWATER CONVEYANCE, IS THE ANCLOTE RIVER BAYOU COMPLEX (WBID: 1440A). THE ANCLOTE RIVER BAYOU COMPLEX IS LISTED AS AN IMPAIRED WATERBODY FOR TOTAL NITROGEN (TN) AND CHLOROPHYLL A; THEREFORE, SWFWMD EXEMPTION FOR WATER QUALITY CRITERIA IS NOT APPLICABLE.

THROUGH USAGE OF STORMWATER BMPs A NUTRIENT REDUCTION OF 45% TN AND 80% TP WILL BE ACHIEVED WITH A NET IMPROVEMENT FOR TN DISCHARGE.

A REDUCTION OF IMPERVIOUS SURFACE COMPARED TO THE HISTORIC SITE COVERAGE IS PROPOSED; THEREFORE, QUANTITY CRITERIA IS SATISFIED THROUGH A DECREASE IN STORMWATER RUN-OFF TO THE CITY CONVEYANCE.

IMPERVIOUS SURFACE CALCULATIONS & CURVE NUMBER TABULATION FOR THE PRE-DEMOLITION SITE AND PROPOSED SITE COVERAGE ARE PROVIDED RIGHT.

SITE LEGEND:

- ▬ PROJECT BOUNDARY
- EXISTING OAK TREE
- ▲ EXISTING PALM TREE
- ▨ EXISTING MASONRY PAVERS
- ▧ EXISTING CONCRETE S/W
- ▩ EXISTING BUILDING
- PROPOSED CONCRETE S/W
- PROPOSED PAVEMENT
- ▬ PROPOSED MASONRY PAVERS
- ▭ PROPOSED LANDSCAPED AREA

PROJECT NARRATIVE:
 URBAN INFILL OF A VACANT CITY CENTER LOT WITH A MIXED USE (RETAIL, BOUTIQUE HOTEL, AND BUSINESS/PROFESSIONAL OFFICE MEETING SPACE) TWO-STORY BUILDING AND OPEN COURTYARD ON GROUND FLOOR.

DEMOLITION NOTE:
 A DEMOLITION PERMIT (2008-08755) WAS LOCATED FOR THE SUBJECT PARCEL, BEING ISSUED BY THE CITY OF TARPON SPRINGS ON 07/14/2008 FOR A TWO-STORY MASONRY BUILDING.

VEHICLE & BICYCLE PARKING NARRATIVE:
 TRANSECT T5B (MAIN STREET) QUALIFIES FOR EXEMPTION FOR ON-SITE PARKING IF PUBLIC OR PRIVATE PARKING IS AVAILABLE WITHIN A 5 MINUTE WALK.

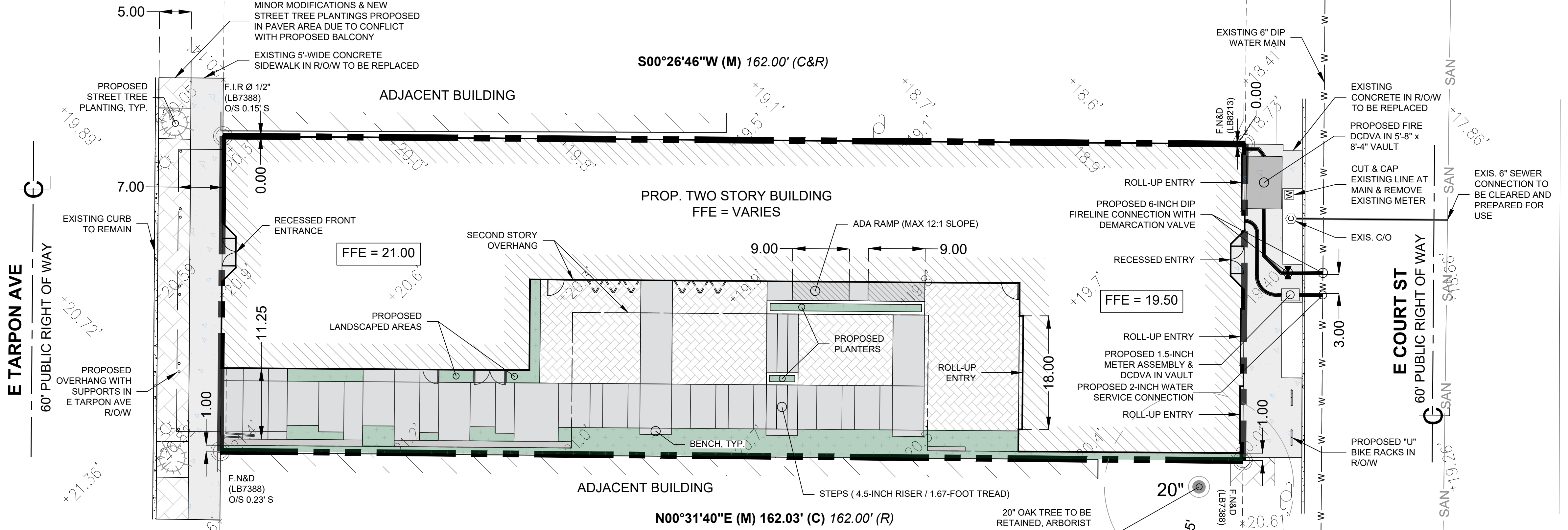
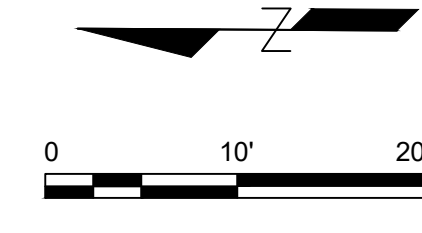
REMOVAL OF APRON ON E COURT STREET TO PROVIDE TWO ADDITION STREET PARKING SPACES. ADEQUATE PARKING AVAILABILITY EXISTS IN THE TARPON SPRINGS CITY CENTER.

UTILITY NARRATIVE:
 WATER: EXISTING WATER CONNECTION AND METER TO BE UPSIZED TO 2-INCH AND 1.5-INCH RESPECTIVELY FOR THE PROPOSED MIXED USE DEVELOPMENT.

THE EXISTING CONNECTION WILL BE CUT & CAPPED AT MAIN. METER ASSEMBLY & DCDVA TO BE INSTALLED IN VAULT IN E COURT STREET RIGHT-OF-WAY.

WASTEWATER: EXISTING SEWER CONNECTION TO BE UTILIZED BY CONTRACTOR AND CLEANED FOR USE. SHOULD PIPE CONDITION BE UNSUITABLE, A NEW CONNECTION WILL BE MADE TO 8" VCP SEWER IN THE EAST COURT STREET RIGHT-OF-WAY.

FIRELINE: PROPOSED 6-INCH DIP FIRE LINE WITH DCDVA IN VAULT PROPOSED IN E COURT STREET RIGHT-OF-WAY NEAREST HYDRANT IS ± 93 LF FROM NORTHEAST CORNER OF PROPOSED STRUCTURE AT THE SOUTHWEST CORNER OF THE INTERSECTION OF S SAFFORD AVE AND E TARPON AVE.



- NATURAL RESOURCES NOTES:**
- LANDSCAPED AREAS AND PLANTERS DEPICTED ON PLAN (RIGHT). GREENSPACE TO RECEIVE IRRIGATION FROM SYSTEM BY OTHERS.
 - NO TREES ARE PROPOSED TO BE REMOVED FROM SITE. ARBORIST APPROVED METHODS TO UTILIZED FOR WORK WITHIN THE PROTECTIVE ROOT ZONE OF OFF-SITE 20-INCH OAK.
 - STREET TREES TO BE REMOVED (TWO OAKS AND TWO PALMS) FROM RIGHT-OF-WAY OF E COURT STREET AND E TARPON AVE. REPLACEMENT PLANTINGS ARE PROPOSED FOR RECONFIGURED RIGHT-OF-WAYS.
 - EROSION CONTROL SILT FENCES & TREE PROTECTION BARRICADES DEPICTED ON EXISTING SITE/CONSTRUCTION BMP PLAN.

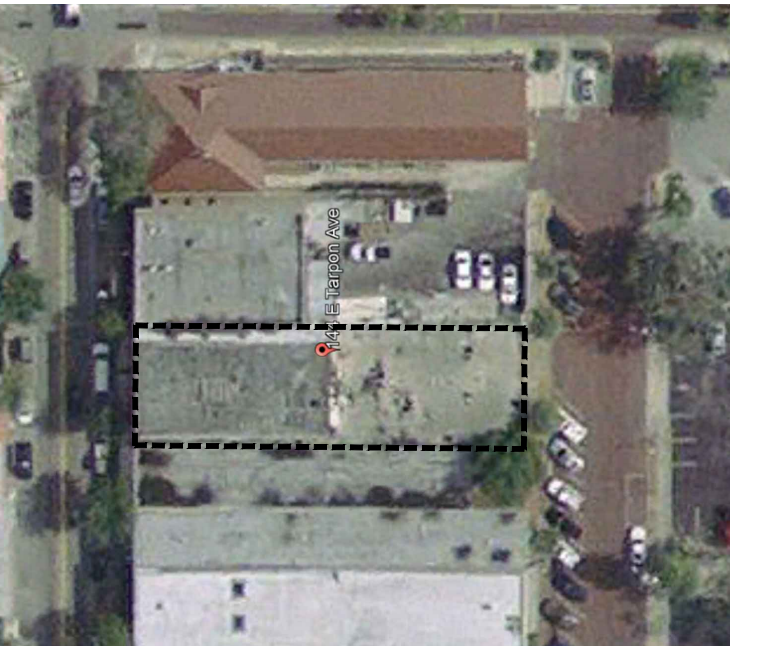
- UTILITY NOTES:**
- CONTRACTOR SHALL FIELD-VERIFY ALL UTILITIES. CONTRACTOR SHALL REQUEST ALL UTILITY LOCATES. ANY ADJUSTMENTS OR EXTENSIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ALL RESTORATION IS THE CONTRACTOR'S RESPONSIBILITY.
 - THE CITY OF TARPON SPRINGS REQUIRES 48 HOURS NOTICE PRIOR TO ANY WORK BEING COMPLETED ON UTILITY MAINS.

- SOLID WASTE NOTES:**
- REFUSE BINS TO BE STORED IN UTILITY/TRASH ROOM.
 - TENANT(S) TO BE RESPONSIBLE FOR BRINGING BINS TO E COURT STREET CURB FOR COLLECTION & PROMPTLY RETURNING BINS TO ENCLOSURE.

LOT 4, BLOCK 67
 "MAP OF THE TOWN TARPON SPRINGS"
 P.B. 4 - P.G. - 78

HISTORIC SITE IMPERVIOUS SURFACE CALCULATIONS			
SURFACE ID	AREA COVERAGE	CN	
DEMOLISHED BUILDING (SEE NOTE)	8,112 SF	98	
LANDSCAPED GREENSPACE	0 SF / 0 %	68	
TOTAL IMPERVIOUS SURFACE	8,112 SF / 100 %	98	

PROPOSED SITE IMPERVIOUS SURFACE CALCULATIONS			
SURFACE ID	AREA COVERAGE	CN	
PROPOSED BUILDING	5,256 SF	98	
PROPOSED PAVERS	1,072 SF	98	
PROPOSED CONCRETE	1,189 SF	98	
LANDSCAPED GREENSPACE	595 SF / 7.33 %	39	
TOTAL IMPERVIOUS SURFACE	7,517 SF / 92.67 %	93.67	



HISTORIC SITE AERIAL
 1" = 80

DATE	REVISION	DRAWN

EEC ENVIRONMENTAL ENGINEERING CONSULTANTS, INC.

CONSULTING ENGINEERS AND ENVIRONMENTAL SCIENTISTS
 ENGINEERING BUSINESS NUMBER - 2948
 5119 NORTH FLORIDA AVENUE
 P.O. BOX 7854
 TAMPA, FLORIDA 33673
 PHONE: 1-800-229-3781

DESIGNED: NT DRAWN: NT CHECKED: MJN

PROPOSED SITE PLAN

TARPON REGISTRY
 144 E TARPON AVE
 TARPON SPRINGS, FL 34689

DATE:	SCALE:
APRIL 2026	1" = 10'
JOB NUMBER:	SHEET:
2026018	1 OF 1