



City of Tarpon Springs, Florida

Board of Adjustment
324 East Pine Street
Tarpon Spring, Florida 34689
(727) 938-3711

<http://www.ctsfl.us/agenda.htm>

**BOARD OF ADJUSTMENT AGENDA
WEDNESDAY, APRIL 22, 2026
6:30 PM - CITY HALL AUDITORIUM**

1. CALL TO ORDER

2. ROLL CALL

3. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS

4. APPLICATION(S)

a. **#26-17 - Mastriano**

Variance to allow reduced side and rear yard setbacks for the purpose of constructing a shed in the rear yard.

Location: 716 Sunset Drive

b. **#25-100 - The Shops at Meres**

Variance to allow the front building setbacks to exceed the maximum setback allowed for the purpose of constructing new multi-tenant retail buildings.

Location: 1098 S. Pinellas Avenue

5. BOARD AND STAFF COMMENTS

6. ADJOURNMENT

If a person decides to appeal any decision made by the Board of Adjustment with respect to any matter considered at this meeting or hearing, they will need a record of the proceedings and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. You are invited to attend the meeting to express your views or to present facts in regard to the case. Written comments may be addressed to the Planning & Zoning Department, P.O. Box 5004, Tarpon Springs, Florida, 34688-5004, and will become part of the records. All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning & Zoning Department, (727) 942-5611 or by email to pmcneese@ctsfl.us. Said hearing may be continued from time-to-time pending adjournment. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611 or email a written request to akeen@ctsfl.us.



CITY OF TARPON SPRINGS
BOARD OF ADJUSTMENT
[APRIL 22, 2026]

STAFF REPORT

Application No. / Project Title: #26-17 (Mastriano)
Staff: Allie Keen, AICP, Principal Planner
Applicant / Owner: David Mastriano
Property Size: +/- 0.23 acres
Current Zoning: R-100 (Single Family Residential)
Current Land Use: RL (Residential Low)
Location / Parcel ID: 716 Sunset Drive / 11-27-15-87786-017-0080

BACKGROUND SUMMARY:

The applicant is requesting a variance to reduce the required side yard setback to 3 feet, 7 feet less than required, and the rear yard setback to 3 feet, 27 feet less than required, for the purpose of constructing a 258 square foot storage shed.

PRELIMINARY STAFF RECOMMENDATION:

Based on the information available at the time this report was prepared, staff recommends **approval** of the variance requests.

LAND DEVELOPMENT CODE CONSIDERATIONS:

District Intent: The single family residential districts are established to provide for detached dwellings in a variety of districts with a full range of dimensional and density standards compatible with the established development of the area.

Development Standards: Per Land Development Code (LDC) Section 25.02(D)(6), the minimum side yard setback is 10 feet and rear yard setback is 30 feet for the R-100 zoning district.

CURRENT PROPERTY INFORMATION:

Use of Property:	Single-Family Residential
Site Features:	Two-story home, pool, fence, driveway, trees and landscaping.
Vehicle Access:	The property gains access from Sunset Drive.



SURROUNDING ZONING & LAND USE:

	Zoning:	Land Use:
North:	R-100 (Single Family Residential)	RL (Residential Low)
South:	R-100 (Single Family Residential)	RL (Residential Low)
East:	R-100 (Single Family Residential)	RL (Residential Low)
West:	R-100 (Single Family Residential)	RL (Residential Low)

PLANNING CONSIDERATIONS:

When considering this application, the following general site conditions, planning concepts, and other facts should be noted:

1. The applicant is proposing to construct a 258 square foot accessory structure in the back yard of the subject property, intended to be used for storage.
2. Section 25.02(D)(6) of the Land Development Code (LDC) provides for a minimum 10 foot side yard setback and 30 foot rear yard setback. According to the provided site plan the proposed structure will have a side and rear yard setback of 3 feet.
3. The layout of the home, existing pool and deck limit the potential location of a storage shed. The existing improvements have a side setback of just under 20 feet. If the 10-foot side setback was observed, it would necessitate the shed being reduced in width and likely require the structure to be up against the pool deck, limiting accessibility to the rear yard. The 30 foot rear setback would require the structure to be sandwiched between the home and existing privacy fence, limiting the accessibility along the side of the home. The proposed shed location allows for adequate access to the side and rear yard, around the structure, and provides an appropriate distance between the pool and shed, while still preserving the usability of the yard.
4. There is an existing 6-foot tall privacy fence on the subject property. The shed is proposed to have a height of 10 feet (measured to the eave). The fence will provide screening of a majority of the shed to neighboring properties.
5. Per LDC Section 36.01, storage sheds that are 200 square feet in area or less may have a reduced side and rear yard setback of 5 feet. Accessory structures exceeding 200 square feet are required to meet the minimum zoning district setbacks. If the proposed structure size was reduced by 58 square feet, the reduced setbacks would apply, however, they would still be larger than proposed by the applicant.

REVIEW STANDARDS / PROVISIONAL FINDINGS OF FACT:

Section 215.02(B) of the Land Development Code provides that the Board of Adjustment shall grant no variance unless certain standards are met and proven by competent substantial evidence. These standards, along with planning staff’s provisional findings of fact are provided below:

1. **The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.**

Provisional Findings: The location of the home on the property and the existing pool and surrounding decking and setback of the home limit the potential locations for a storage shed on the subject property and necessitate the reduced side and rear setbacks. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*



- 2. The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant.**

Provisional Findings: The need for the variance is due to the existing site limitations and constraints of the 20-foot wide side yard. If the shed was shifted to meet the required setbacks it would impact the overall accessibility in the side and rear yard and require the structure to be reduced in width. The special circumstances peculiar to the property have not been self-created. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

- 3. Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant of reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property.**

Provisional Findings: Literal enforcement of the requirements would necessitate the shed being shifted north, potentially impacting general access to the side and rear yard and reducing the usability of the yard. Additionally, due to the existing side setback of the home, the shed would need to be reduced in size by at least 4 feet in order to meet the setback standards. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

- 4. Granting the variance will not confer any special privilege that is not allowed for other lands, buildings or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances.**

Provisional Findings: Approval of this request would not confer any special privileges to the applicant that are not commonly enjoyed by other property owners in this area. The proposed structure will be partially screened from adjacent properties by the privacy fence, and the proposed location will allow appropriate access around the structure and to the yard. Personal storage sheds are common amenities for single family properties in the district and immediate area. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

- 5. Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.**

Provisional Findings: Approval of the requested variance is not expected to substantially diminish property values. Storage sheds are common amenities for single family properties within the surrounding area. The reduced setback is not expected to create a nuisance or alter the character of the neighborhood. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

PUBLIC CORRESPONDENCE:

Notices were sent to property owners within 500 feet of the subject property; a legal notice was published in the Tampa Bay Times; and the property was posted. *Staff has not received any responses to these notices.*

ATTACHMENTS:

1. Staff Presentation
2. Variance Addendum
3. Site Plan
4. Construction Plans

MASTRIANO #26-17

Board of Adjustment – April 22, 2025

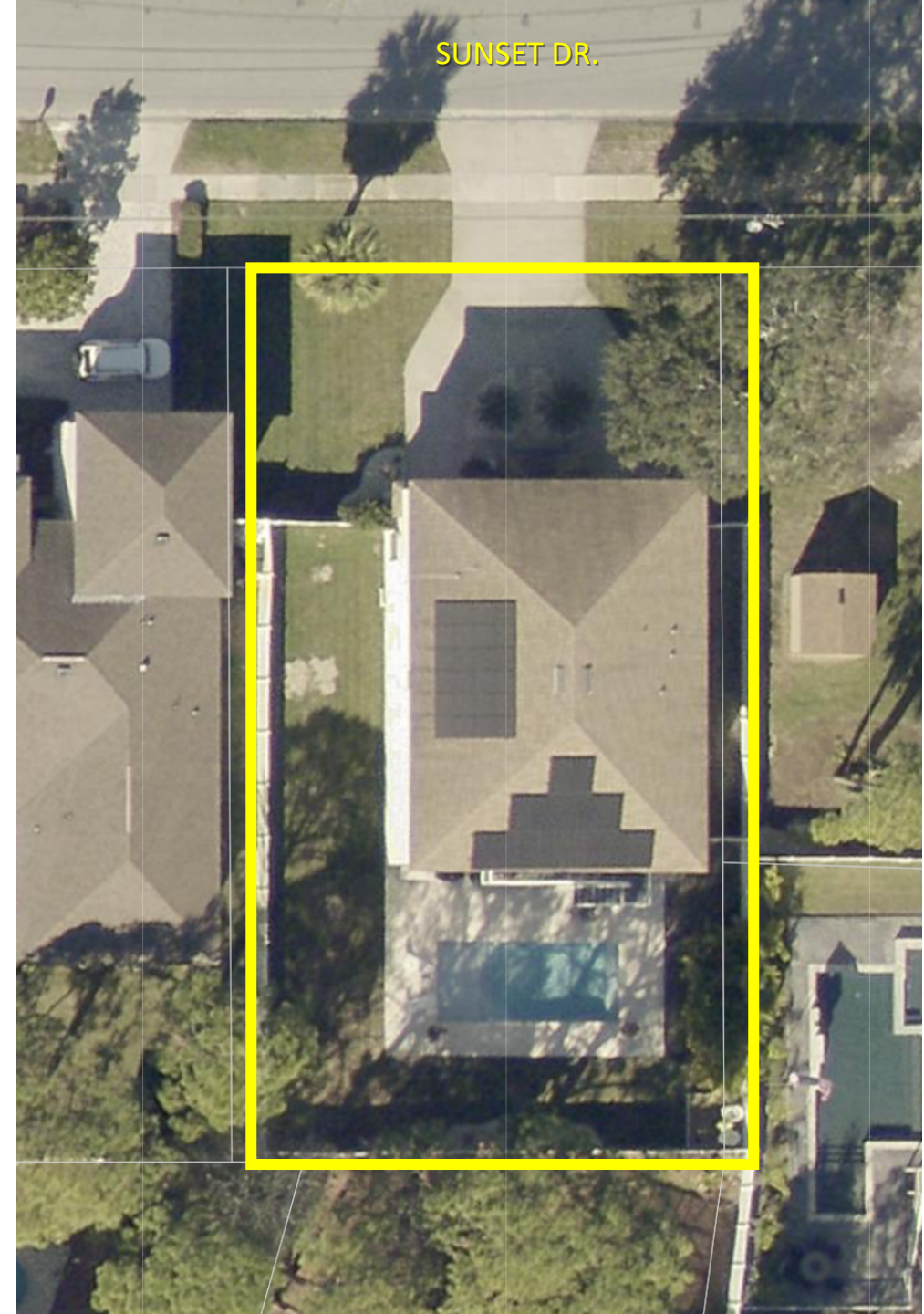


LOCATION & CONTEXT



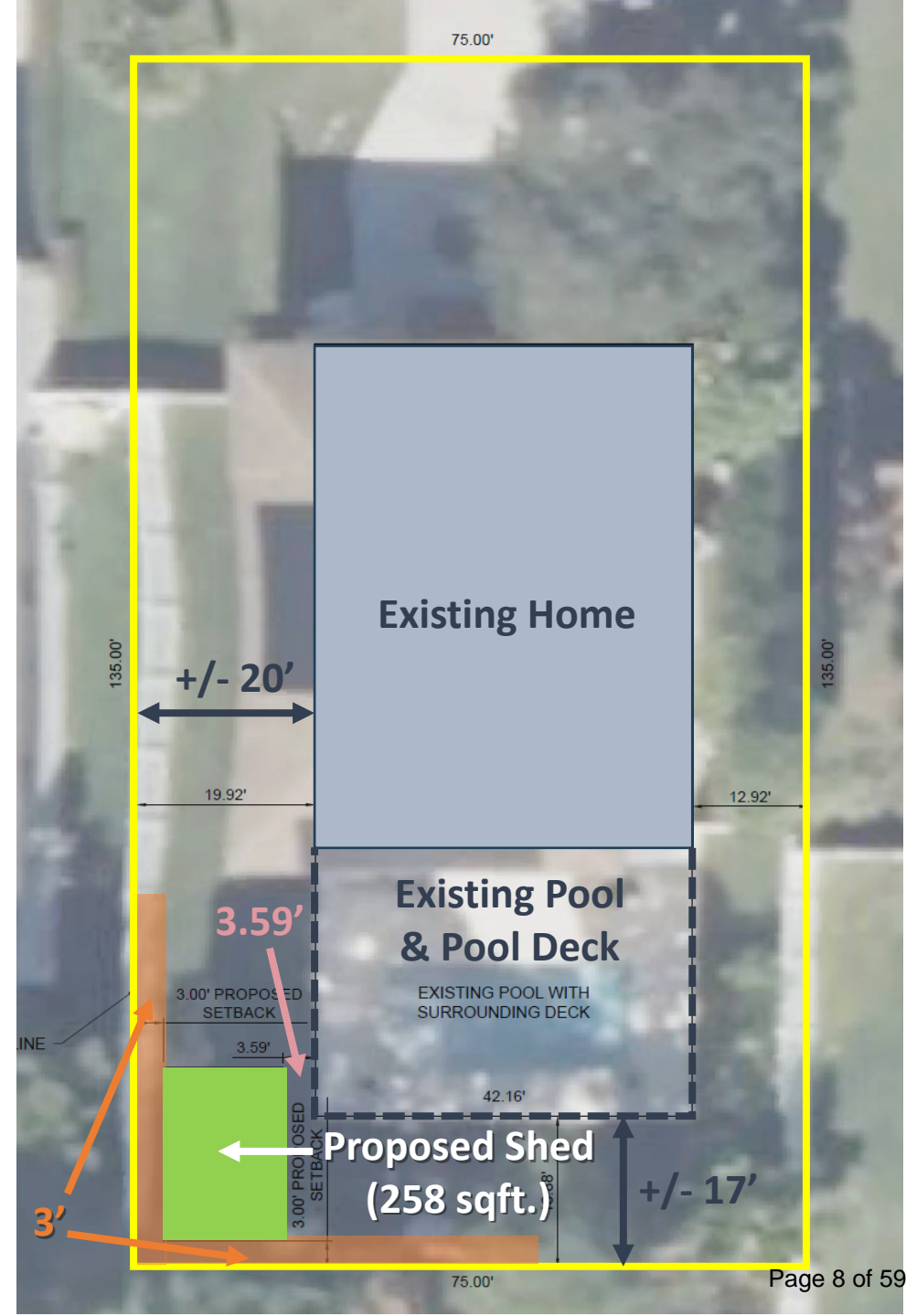
REQUEST

- **#26-06 – Side & Rear Yard Setback**
 - Required (Rear) = 30 feet
 - Required (Side) = 10 feet
 - Proposed (Side & Rear) = 3 feet
- **Applicant/Owner:** David Mastriano
- *Variance to reduce the required side and rear yard setbacks to allow the construction of a storage shed.*

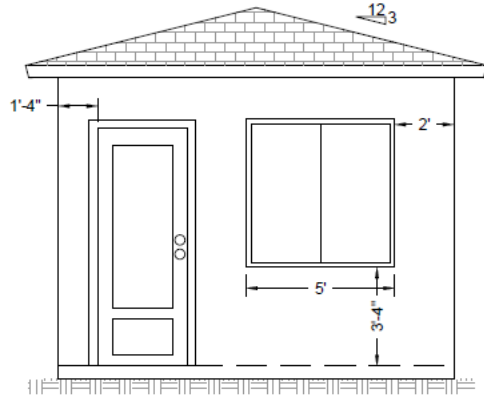


SITE PLAN

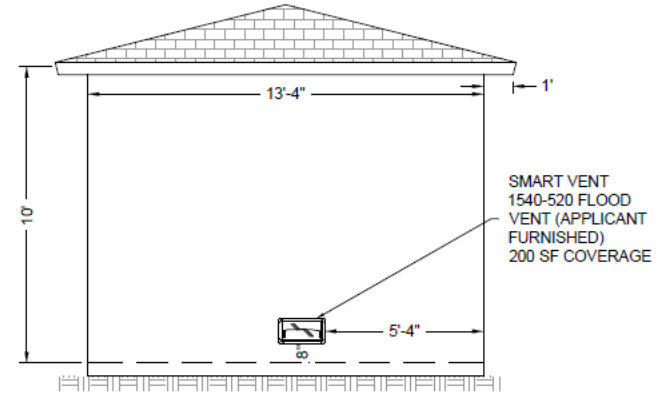
- **R-100 Minimum Setbacks:**
 - Rear Yard
 - Required = 30 ft
 - Proposed = **3 ft**
 - Existing Pool Deck = **16.88 ft**
 - Side Yard
 - Required = 10 feet
 - Proposed = **3 ft**
 - Existing Home = **19.92 ft**
 - Proposed Distance Between Shed & Deck = **3.59 ft**
- **LDC Section 36.01 – Accessory Structures:**
 - Structures 200 sqft. or less in size are permitted a reduced side and rear yard setback of 5 feet.
 - Structures larger than 200 sqft. must meet the district setbacks



ELEVATIONS

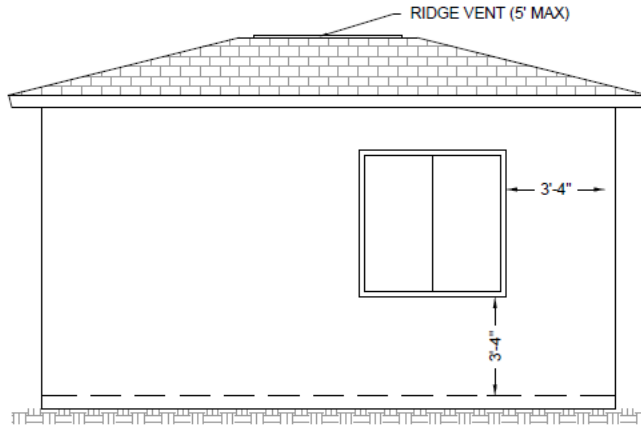


1 **FRONT (NORTH) ELEVATION**
SCALE: 1/4" = 1'-0"

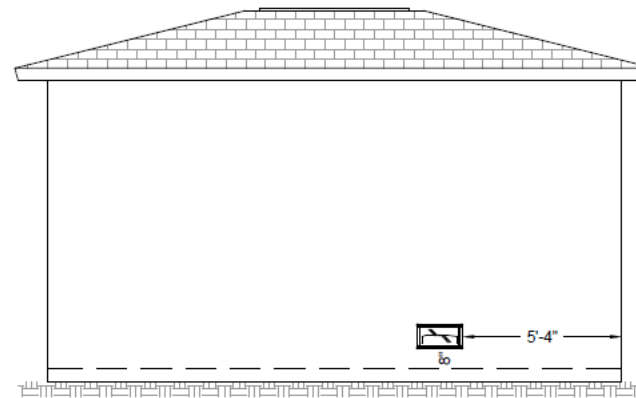


2 **REAR (SOUTH) ELEVATION**
SCALE: 1/4" = 1'-0"

SMART VENT
1540-520 FLOOD
VENT (APPLICANT
FURNISHED)
200 SF COVERAGE



3 **EAST SIDE ELEVATION**
SCALE: 1/4" = 1'-0"



4 **WEST SIDE ELEVATION**
SCALE: 1/4" = 1'-0"



REVIEW STANDARDS - VARIANCE

- 1) The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.
- 2) The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant.
- 3) Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant or reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property.
- 4) Granting the variance will not confer any special privilege that is not allowed for other lands, buildings or structures in the same zoning district; no variance will be granted that extends to the applicant a use of a property that is not commonly enjoyed by other persons in similar circumstances.
- 5) Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.

Variance Application Form



CITY OF TARPON SPRINGS
PLANNING & ZONING DEPARTMENT
324 E. Pine Street, Tarpon Springs, FL 34689
(727) 942-5611 / planning@ctsfl.us

INSTRUCTIONS

Please complete this form fully and **DOWNLOAD (print button)** to submit in addition to the [General Planning and Zoning Application](#). Applications must be submitted **DIGITALLY** through the [Planning and Zoning goPost portal](#).

Project Name*

Accessory Structure (Shed)

Project Location*

716 Sunset Drive

Variance Requested*

36.01

Provide the [Land Development Code \(LDC\)](#) Section(s) reference that the variance is being requested from.

Summary of Request*

For construction of a storage shed, side and rear setback variance reduction requested from the required setbacks of 10' to the side and 30' to the rear, to 3' for each. Also requesting to increase the maximum area of the shed from 200 to a maximum 260 square feet. The shed would be placed in the southwest corner of the lot as shown on the conceptual site plan.

Please describe the project and how it varies from the LDC.
(e.g., A side setback variance reduction from the required 10 feet to 7 feet for the purpose of constructing an addition onto an existing home)

Board of Adjustment (BOA) Review Standards

Per LDC [Section 215.02\(B\)](#), the Board of Adjustment may only grant a variance when the following standards are determined to be met and proven by competent substantial evidence.

Please review each standard (numbered 1 through 5) on the following pages and provide a justification on how your request meets each standard.

Standard:

The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district. *(What are the physical hardships on the property that prevent you from meeting the requirements of the code?)*

- a. Preservation of a protected or native tree(s), but not an invasive(s), as defined in Sections [133](#) and [134](#) of the LDC, may be considered as a relevant environmental condition. *(If there are protected trees or native trees on the property, they could be considered a physical hardship if their preservation results in the need for the variance.)*
- b. Location of the property in the Historic District may be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within the Historic District before any variance may be granted. *(If the need for the variance is in response to the property being in the Historic District, it could be considered a physical hardship.)*

Justification:*

Due to the layout of the pool deck in the backyard, with a 10' setback from the side lot line, a storage shed would be limited to a ~5' width with allowing a 5' lane for a riding lawn mower to fit between the shed and the pool deck, which does not make a shed feasible to install. With a rear setback being 30', the usable side yard is cut in half and the aesthetics of the backyard would be unattractive.

With a 3' setback to the rear and side, the shed width can be increased to approximately 13 foot width. The total depth of the side lot from rear to front fence is approximately 100 feet. Increasing the allowable area from 200 to ~260 square feet while considering a 3' setback would make the lot much more aesthetically pleasing and keep property value higher at resale.

Standard:

The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant. *(Is the variance in response to an action or situation in which you created? e.g. You installed a pool at the minimum setbacks, which prevents you from constructing a screen enclosure.)*

Justification:*

The condition has not been knowingly self-created at the time of pool construction as a shed was never planned for on the property at that time. Due to Hurricane Helene flooding the property, there is a need to increase storage space on the lot and to get the storage space above base flood elevation to limit personal property losses in the next flood event. The elevation at the proposed location is approximately 5 feet NAVD 88, and with base flood elevation being at 9 feet, realistically only the top half of the shed can be used for storage as halfway up the walls is BFE. This greatly limits the storage of a smaller 200 SF shed.

Standard:

Literal enforcement of the requirements of the Code will have the effect of denying the applicant reasonable use of the property, or legally conforming buildings or structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property. *(Does the variance result in reasonable use of the property and its structures?)*

Justification:*

Without approval of a variance, the shed would be limited to 200 SF and with having a side setback of 10' with the house being approximately 20', would required a long and narrow shed. To offset the impact of the variance, I am offering to construct with finishes which enhance the aesthetics of the property, such as matching stucco, or cement board panels, versus a typical off-the-shelf shed which uses cheap T1-11 wood panels.

Standard:

Granting the variance will not confer any special privilege that is not allowed for other lands, buildings, or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances. *(Would approval of the variance request result in special privilege that is not commonly enjoyed by other properties within the same district?)*

Justification:*

No special privilege would be granted as other properties have storage sheds within setback limits. Furthermore, many properties have ADUs which are much larger than 200 SF. The shed I am proposing will look no different than an ADU, and will only have a 36" wide door and two windows. From the outside, nobody will be able to tell the difference between it being an ADU or a storage shed.

Standard:

Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by the approval of the variance, alter the essential character of the neighborhood, or create a nuisance. *(Would approval of this request have an adverse effect on surrounding properties?)*

Justification:*

The entire backyard is surrounded by a 6' solid vinyl fence having a 3' setback from the property line would not alter the character of the neighborhood from the neighbors' perspective. The other 3 intersecting lots, this corner for them is their least used corner in their lots, surrounded by trees. It is unlikely any neighbor would have an objection to the shed being an eyesore, especially considering it will be constructed with concrete block and stucco, to match the existing finish of the home, including paint color. It will be aesthetically pleasing.

Electronic Signature Agreement*

By checking the "I Agree" box below, you agree and acknowledge that **1)** this form will not be signed in the sense of a traditional paper document, **2)** by signing in this alternate manner, you authorize your signature on this form to be valid and binding to the same force and effect as a handwritten signature, and **3)** the information included in and with this form is completely true and correct to the best of your knowledge.

I Agree

Electronic Signature*

David J Mastriano

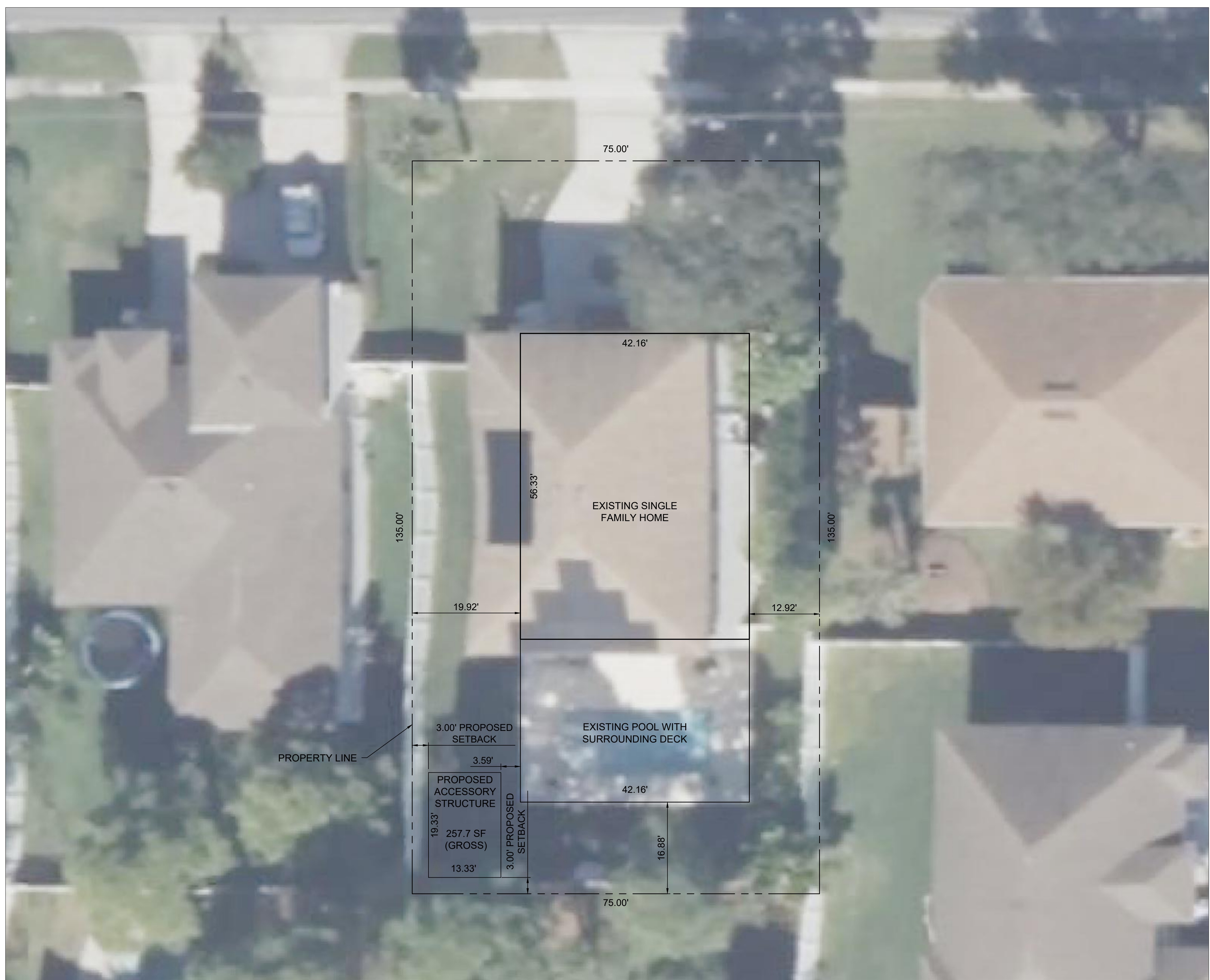
Date*

3/4/2026

Steps to Download Form

1. Click the **'Print Only'** button below.
2. Your form will open in a new tab.
3. **Right click** on your mouse and **select 'Print'**.
4. Choose to print to **'PDF'**.
5. Save the form in your desired location.

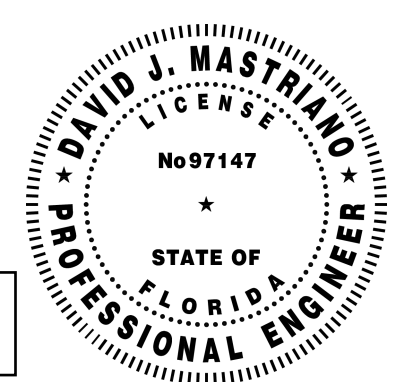
Need help? Give the Planning Department a call at [727-942-5611](tel:727-942-5611).



GENERAL SHEET NOTES

1. AERIAL IMAGERY IS SKEWED DUE TO ANGLE OF SATELLITE PHOTOGRAPHY. PROPERTY AND STRUCTURE LINES ARE ACCURATE.
2. NO TREES ARE PRESENT IN SOUTHWEST CORNER OF LOT.
3. 6' SOLID VINYL FENCE SURROUNDS THE PERIMETER OF BACK AND SIDE YARDS.
4. LOT IS LOCATED WITHIN FLOOD ZONE AE. ACCESSORY STRUCTURE WILL BE CONSTRUCTED OF EITHER SLAB ON GRADE WITH CMU WALLS OR FRAME STRUCTURE WITH PRESSURE TREATED DIMENSIONAL LUMBER AND SHEATED WITH MARINE GRADE PLYWOOD.
5. FINISH WILL BE KNOCK-DOWN TEXTURED STUCCO TO MATCH EXISTING HOUSE FINISH.

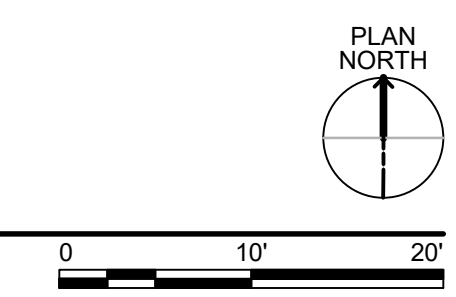
DATE: 04 MARCH 2026
DESIGNED BY: DAVID MASTRIANO, P.E.
DRAWN BY: DAVID MASTRIANO, P.E.
REVIEWED BY: DAVID MASTRIANO, P.E.
SUBMITTED BY: DAVID MASTRIANO, P.E.



This item has been digitally signed and sealed by David J. Mastriano on the date adjacent to the seal. Signature must be verified on any electronic copies.

716 SUNSET DRIVE, TARPON SPRINGS, FLORIDA 34689
SHEED SITE PLAN - VARIANCE REQUEST
SHEED VARIANCE REQUEST

A1 716 SUNSET DRIVE - SHED VARIANCE REQUEST
SCALE: 1" = 10'



CONCEPTUAL
PLANNING BOARD REVIEW ONLY
NOT FOR CONSTRUCTION

SHEET IDENTIFICATION
C-101

STORAGE SHED FOR 716 SUNSET DRIVE TARPON SPRINGS, FL 34689

GENERAL NOTES:

1. THIS ACCESSORY STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE EIGHTH (2023) EDITION OF THE FLORIDA BUILDING CODE, RESIDENTIAL.
 2. DESIGN WIND PRESSURES ARE 133MPH ULTIMATE 3-SECOND GUST VELOCITY PER ASCE 7-22 FOR RISK CATEGORY I STRUCTURES W/ EXPOSURE B. FBCR PRESCRIPTIVE DESIGN USES 140MPH.
 3. THE OWNER IS THE ENGINEER OF RECORD AND IS RESPONSIBLE FOR ALL CONSTRUCTION SUPERVISION AND ADMINISTRATION.
 4. CONTRACTOR MUST NOTIFY THE OWNER/EOR FOR ANY DISCREPANCIES BETWEEN THE PLANS, FBCR, AND ANY DIFFERING OR UNSEEN SITE CONDITIONS.
 5. EXCAVATION SPOILS MAY BE SPREAD ON SITE AT THE DIRECTION OF THE HOMEOWNER.
- FOOTINGS AND WALLS:**
1. PROVIDE 2 CORE HOLLOW CMU 8" X 8" X 16" BLOCKS MEETING ASTM C90.
 2. BLOCKS TO BE INSTALLED WITH 1/2 RUNNING BOND PATTERN.
 3. MORTAR JOINTS TO BE FULL HEAD AND BED.
 - 3.1. BED JOINT THICKNESS 3/8" ± 1/8".
 - 3.2. HEAD JOINT THICKNESS 1/8" TO 3/8".
 4. PROVIDE TYPE S MORTAR MEETING ASTM C270.
 5. CMU BED JOINT ON TOP OF SLAB MUST BE BETWEEN 1/4 AND 3/4 INCH THICK.
 6. PROVIDE CONCRETE WITH 3,000 PSI MIX DESIGN AT 28 DAYS.
 7. PROVIDE ASTM A615 GRADE 60 REINFORCEMENT.
 8. ALL REINFORCEMENT SPLICES TO BE LAP SPLICES.
 - 8.1. NON-CONTACT LAP SPLICES MUST BE LESS THAN 5" APART.
 - 8.2. SPLICE LENGTHS ARE MINIMUM 25".
 - 8.3. REINFORCEMENT BENDS TO BE BENT COLD AND NOT LESS THAN 6 BAR DIAMETERS (7-1/2" FOR #5 BARS).
 9. COVER FOR FOOTING REINFORCEMENT TO BE MIN 3".
 10. REINFORCEMENT WITHIN ANY CMU BLOCK MUST HAVE 1/2" BETWEEN BAR AND FACE OF CORE.
 11. PROVIDE CLEANOUTS FOR ALL VERTICALLY GROUTED CORES.
 - 11.1. CLEANOUTS ARE DEFINED AS AN OPENING IN THE BOTTOM COURSE OF THE CORE TO BE FILLED.
 - 11.2. PROVIDE MINIMUM 12 SQUARE INCH AND MINIMUM OPENING DIMENSION OF 3" OF CLEANOUT.
 12. SPACES TO BE GROUTED MUST HAVE MASONRY PROTRUSIONS LESS THAN 1/2" AND BE FREE OF MORTAR DROPPINGS, DEBRIS, LOOSE AGGREGATE, AND ANY MATERIAL DELETERIOUS TO MASONRY GROUT.
 13. THE TOP AND BOTTOM OF ALL FOOTINGS MUST BE LEVEL.
 14. PROVIDE REINFORCED BOND (TIE) BEAMS AT THE TOP OF ALL EXTERIOR WALLS. BOND BEAMS TO BE 8" X 8" U BLOCKS.
 - 14.1. REINFORCEMENT SHALL BE CONTINUOUS AROUND CORNERS FOR ONE BAR.
 15. VERTICAL REINFORCEMENT TO BE PROVIDED ON EACH SIDE OF OPENINGS.
 16. VERTICAL REINFORCEMENT MUST HAVE LESS THAN 48" SPACING OC.
 17. VERTICAL REINFORCEMENT MUST BE TERMINATED INTO BOND BEAM WITH A STANDARD HOOK AND EMBEDDED A MINIMUM 5" INTO THE BOND BEAM.
 18. BOND BEAMS OVER ALL OPENINGS SHALL CONSIST OF A PRE-CAST LINTEL WITH VERTICAL REBAR PASSING THROUGH IT TO THE TIE BEAM.
 19. FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. SHOULD POOR SOIL CONDITIONS BE FOUND THE CONTRACTOR MUST STOP WORK AND NOTIFY THE ENGINEER PRIOR TO CONTINUING.
 25. PROVIDE CHEMICAL SOIL TERMITE TREATMENT IN ACCORDANCE WITH FBC R318.
 26. PRIOR TO POURING THE MONOLITHIC SLAB, A THIRD-PARTY TESTING FIRM MUST COLLECT A SOIL SAMPLE AND PERFORM A STANDARD PROCTOR DENSITY TEST IN ACCORDANCE WITH ASTM D698. PROVIDE THE DENSITY CURVE TO THE ENGINEER AND PERFORM NUCLEAR DENSITY COMPACTION TESTING IN ACCORDANCE WITH ASTM D6938 IN THE PRESENCE OF THE ENGINEER. DO NOT PLACE CONCRETE UNTIL WRITTEN APPROVAL IS RECEIVED FROM THE

ENGINEER.

27. ANY FILL MUST BE PLACED AND COMPACTED IN 6 INCH LIFTS.
28. PROVIDED WELDED WIRE MESH WITHIN THE SLAB AS INDICATED. A VARIANCE FOR SYNTHETIC FIBER REINFORCEMENT IS NOT ALLOWED.
29. WELDED WIRE MESH MUST CONFORM TO ASTM A185 AND BE FREE OF OIL AND RUST.
 - 29.1. LAP MESH A MINIMUM OF 6".
30. TOP OF SLAB TO BE MINIMUM 4" ABOVE GRADE.

ROOFING:

1. ALL LUMBER MUST BE SPF OR SYP, GRADE #2 OR BETTER.
2. WALL ENDS OF RAFTERS MUST BE SECURED WITH METAL ANCHORS EMBEDDED IN THE CMU WALL BOND BEAM AS SHOWN IN DETAILS.
3. ROOF SHEATHING TO BE MIN 19/32" DOC PS 1 (EXPOSURE 1) C-D GRADE PLYWOOD.
4. LONG DIMENSION TO BE INSTALLED PERPENDICULAR TO FRAMING. STAGGER END JOINTS.
5. SHEATHING NAIL SPACING TO BE SPACED 6 INCHES ALONG PANEL EDGES AND INTERMEDIATE SUPPORTS.
6. NAILS TO BE RING SHANK NAILS 2-1/2" X 0.131" X 0.281" HEAD DIAMETER MEETING ASTM F1667 RSRS-03.
7. PROTECT RAFTER AND CEILING JOIST FROM DIRECT CONTACT WITH CMU BOND BEAM BY APPLYING BUTYL TAPE.

ASPHALT SHINGLES:

1. SHINGLES TO BE INSTALLED IN ACCORDANCE WITH FBC R905 AND THE MANUFACTURER'S INSTRUCTIONS FOR 140 MPH ULTIMATE WIND SPEED.
2. LOW-SLOPE 3:12 ROOF REQUIRES 2 LAYERS OF SYNTHETIC UNDERLAYMENT.
 - 2.1. REFER TO FBC R905.1.1.1(3)
3. DRIP EDGE TO EXTEND 1/2" BEYOND EDGE OF SHEATHING AND PLACED OVER UNDERLAYMENT. FASTEN 12" OC.
4. RING SHANK NAILS TO SECURE SHINGLES MUST BE GALVANIZED.

FASTENERS AND CONNECTORS:

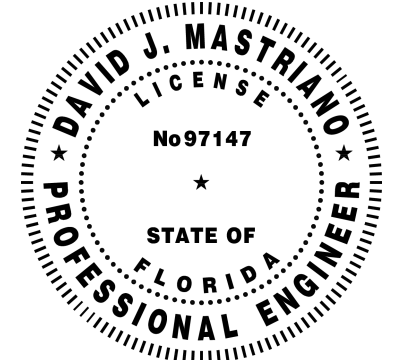
1. FASTENERS MUST BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL. NO ZINC COATED, ELECTRO-COATED, PLAIN, OR UNCOATED FASTENERS ARE ALLOWED.
2. DOORS AND WINDOWS MUST BE INSTALLED WITH STAINLESS STEEL TYPE 303, 304, 316, OR 410 FASTENERS, INCLUDING CONCRETE (TAPCON) ANCHORS.

FINISHES:

1. NO FINISHES ARE REQUIRED AS PART OF THIS CONTRACT. STUCCO WILL BE APPLIED ON OUTSIDE AND INSIDE WALLS BY OTHERS AT A LATER DATE.

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
G-001	COVERSHEET
G-002	GENERAL NOTES AND DESIGN DATA
C-101	SITE PLAN
A-101	ELEVATIONS
S-101	FLOOR AND ROOF PLAN
S-102	FOUNDATION PLAN
S-103	SLAB JOINT PLAN
S-301	FOUNDATION AND WALL SECTIONS
S-501	STRUCTURAL DETAILS
S-502	WALL REINFORCEMENT DETAILS
S-503	WINDOW DETAILS
S-504	DOOR DETAILS
S-601	CONNECTOR TABLES

NO	REVISION	DATE



This item has been digitally signed and sealed by David J. Mastroiano on the date adjacent to the seal. Signature must be verified on any electronic copies.

**STORAGE SHED
716 SUNSET DRIVE
TARPON SPRINGS, FL 34689**

SHEET TITLE COVERSHEET	SHEET
DATE 3/4/2026	G-001
SCALE NTS	

DESIGN PARAMETERS

APPLICABLE CODES:
FBC, 8TH EDITION (2023), RESIDENTIAL

BUILDING OCCUPANCY CLASSIFICATION:
GROUP U - UTILITY AND MISCELLANEOUS

BUILDING CONSTRUCTION TYPE:
TYPE IIIB (NON-COMBUSTIBLE WALLS WITH WOOD-FRAMED ROOF)

RISK CATEGORY:
I (UNINHABITABLE STORAGE SHED)

FLOOD ZONE:
FEMA FIRM 12103C0019H, EFFECTIVE ON 8/24/2021
ZONE AE (BFE 9')

GEOTECHNICAL INFO:
FOUNDATIONS BASED ON A MINIMUM SOIL BEARING CAPACITY OF 2,000 PSF (SP-SM)

WIND SPEED:
133 MPH ULTIMATE DESIGN WIND SPEED
(3-SECOND GUST) PER ASCE 7-22
TORNADO (NOT APPLICABLE TO RISK CATEGORY I)

SURFACE ROUGHNESS CATEGORY:
B

EXPOSURE CATEGORY:
B

INTERNAL PRESSURE COEFFICIENT:
0.18 (ENCLOSED BUILDING)

WINDBORNE DEBRIS REGION:
YES - PROTECTION OF OPENINGS NOT REQUIRED FOR STORAGE SHEDS WITH FLOOR AREA LESS THAN 720 SF (R301.2.1.2)

WINDOW SCHEDULE

KEY	SIZE	OPENING SIZE	HAND/SWING	MANUFACTURER	PART NUMBER	ZONE (4 OR 5)	WIND PRESSURES FROM C&C TABLE (PSF)	MANUFACTURER MAX DESIGN PRESSURES	IMPACT PROTECTION	NOTES	BUCK DETAIL	FLORIDA PRODUCT APPROVAL
A	59-1/2" X 59-1/2"	60" X 60" (CMU)	N/A	ANDERSON	100GXO5050 (100 SERIES GLIDING)	5	+21.2/-28.3	+30/-30	NO	CUSTOMER SUPPLIED		15907.1

DOOR SCHEDULE

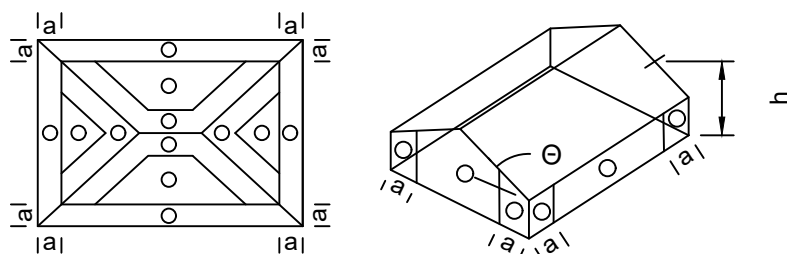
1	36" X 96"	40" X 99" (CMU)	LEFT-HAND INSWING	MASONITE	96953 (HOLLISTER)	5	+21.2/-28.3	+40/-40	NO	CUSTOMER SUPPLIED		22363.10
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ROOF COVERING

TYPE	MANUFACTURER	MODEL	CLASSIFICATION	COLOR	UNDERLAYMENT	NOTES
ARCHITECTURAL SHINGLE	OWENS CORNING	TRU DEFINITION DURATION	ASTM D3161, CLASS F	ESTATE GRAY	2 LAYERS OF OWENS CORNING RHINOROOOF OR TITANIUM SYNTHETIC UNDERLAYMENT	PROVIDE 2 LAYERS OF UNDERLAYMENT. OVERLAP A MINIMUM 1/2 OF THE WIDTH OF UNDERLAYMENT COURSE BELOW PLUS 2 INCHES. INSTALL IN ACCORDANCE WITH FBCR R905.2
RIDGE VENT	OWENS CORNING	VENTSURE				12" VENTSURE WITH WEATHER PROTECTOR MOISTURE BARRIER. MAX OPENING WIDTH 3-1/2". MAX 5' LENGTH.

SOFFIT MATERIAL

TYPE	MANUFACTURER	MODEL	COLOR	NOTES
FIBER-CEMENT	JAMES HARDIE	217527	GRAY	VENTED

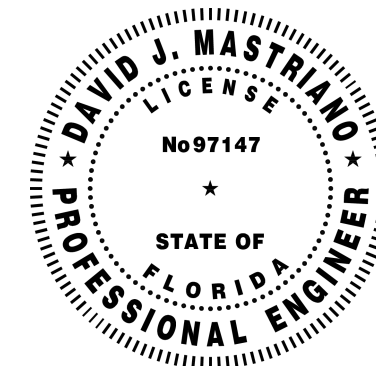


HIP ROOF (7° TO 20° DEG)
a = 4' IN ALL CASES

2023 FBC (8TH EDITION) COMPONENTS & CLADDING TABLE

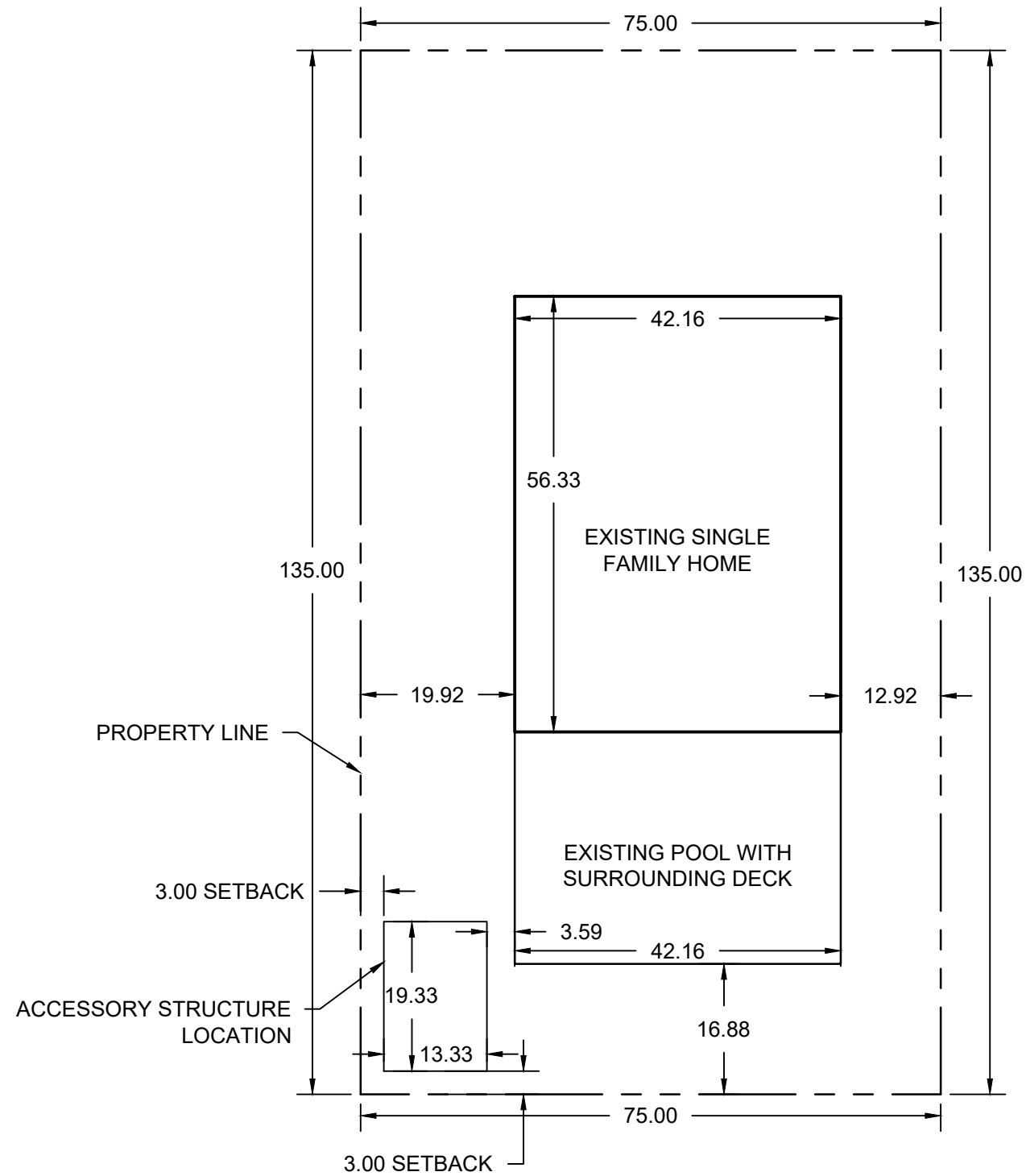
HIP ROOF			
ROOF SLOPE:	ZONE:	POSITIVE (+)	NEGATIVE (-)
7° - 20°	1	15.8	-35.5
	2	15.8	-46.3
	3	15.8	-49.8
WALL	4	21.2	-22.9
	5	21.2	-28.3

NO	REVISION	DATE

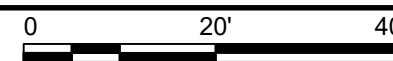


STORAGE SHED
716 SUNSET DRIVE
TARPON SPRINGS, FL 34689

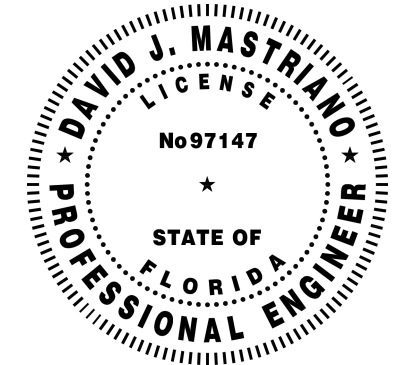
SHEET TITLE GENERAL NOTES AND DESIGN DATA	SHEET
DATE 3/4/2026	G-002
SCALE NTS	



1 **SITE PLAN**
SCALE: 1" = 20'

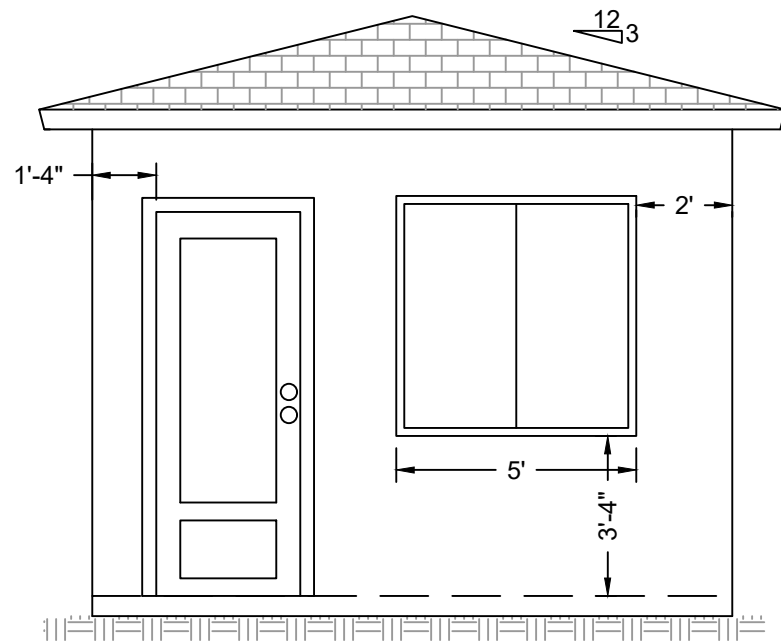


NO	REVISION	DATE

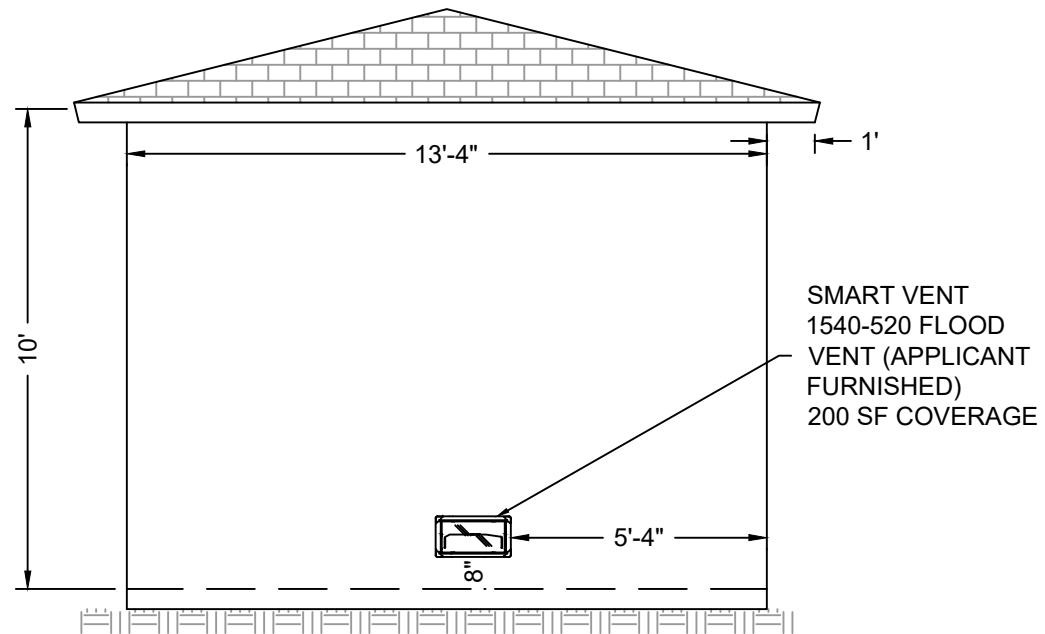


STORAGE SHED
716 SUNSET DRIVE
TARPON SPRINGS, FL 34689

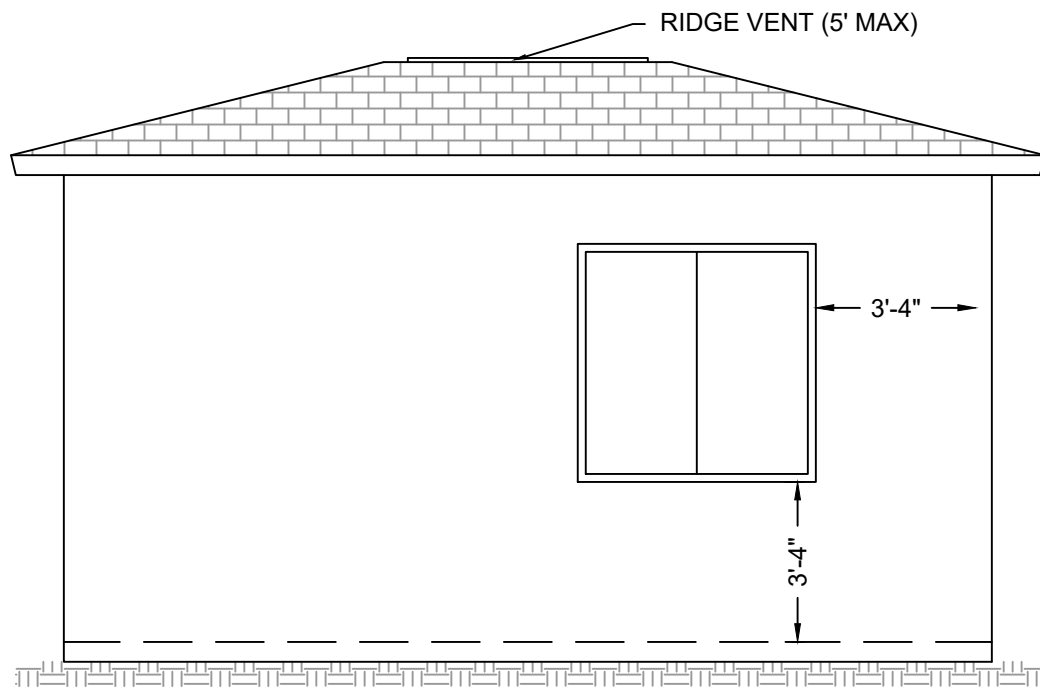
SHEET TITLE SITE PLAN	SHEET C-101
DATE 3/1/2026	
SCALE 1" = 20'	



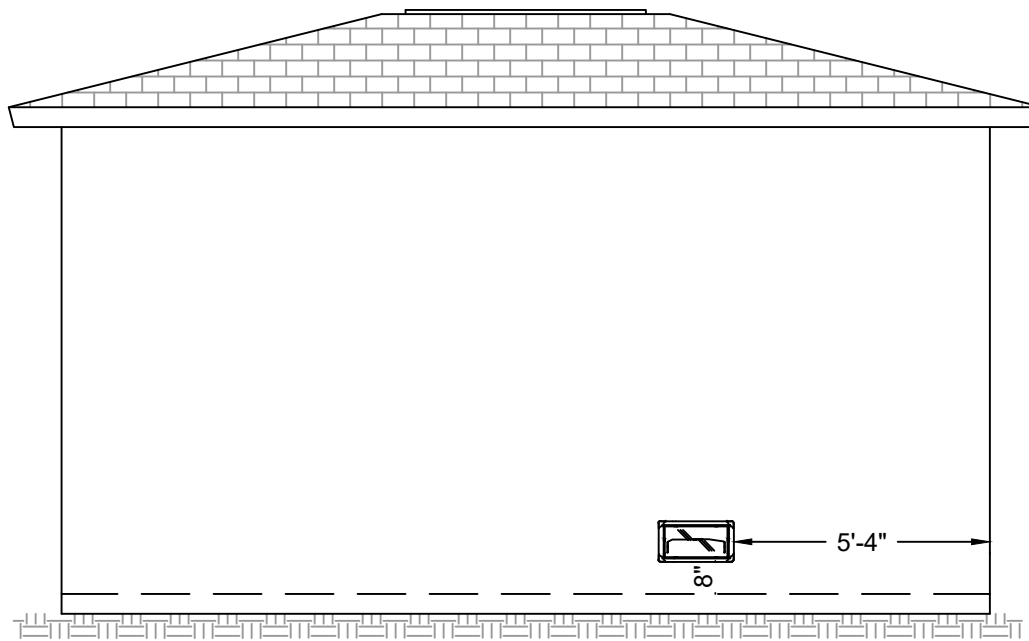
1 FRONT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"

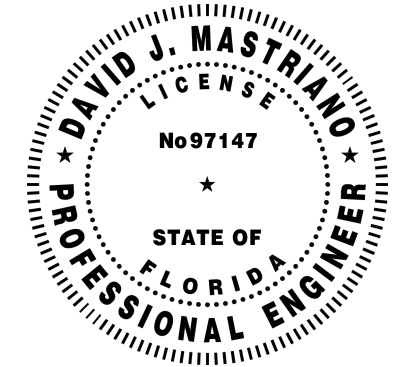


3 EAST SIDE ELEVATION
SCALE: 1/4" = 1'-0"



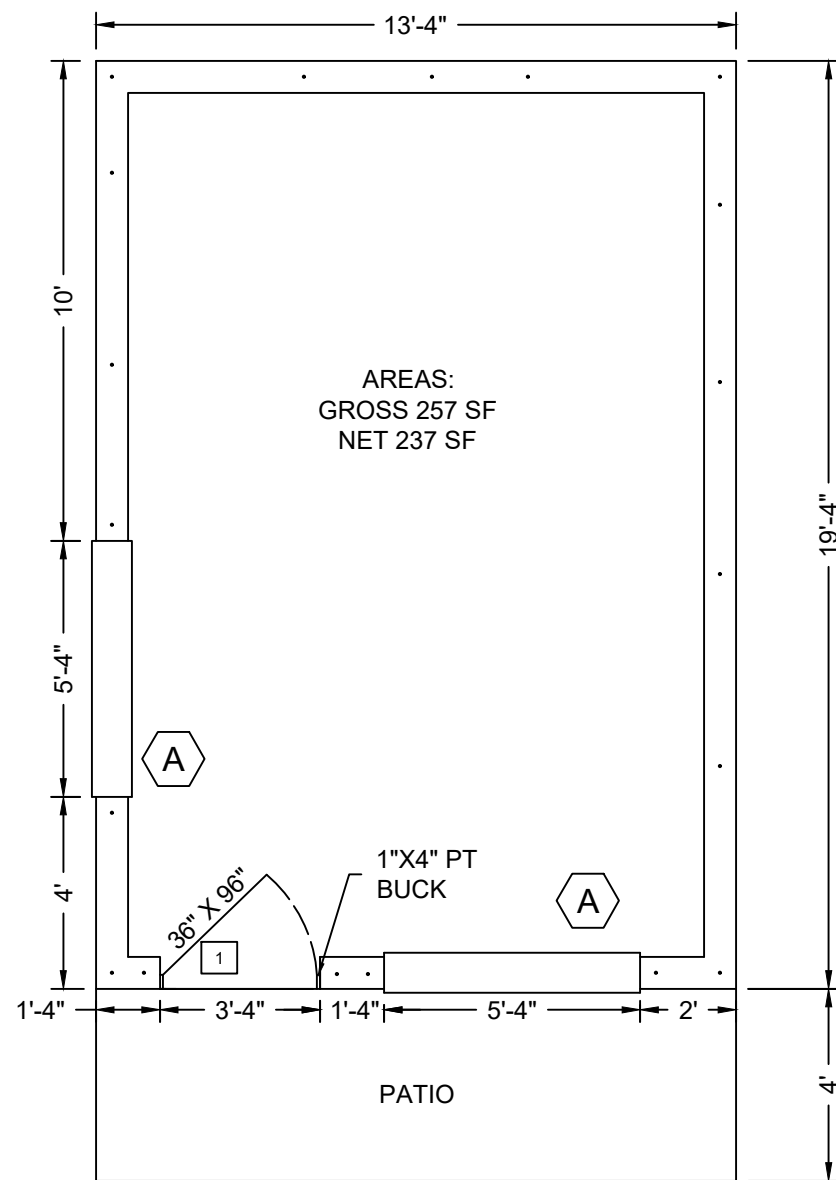
4 WEST SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NO	REVISION	DATE



STORAGE SHED
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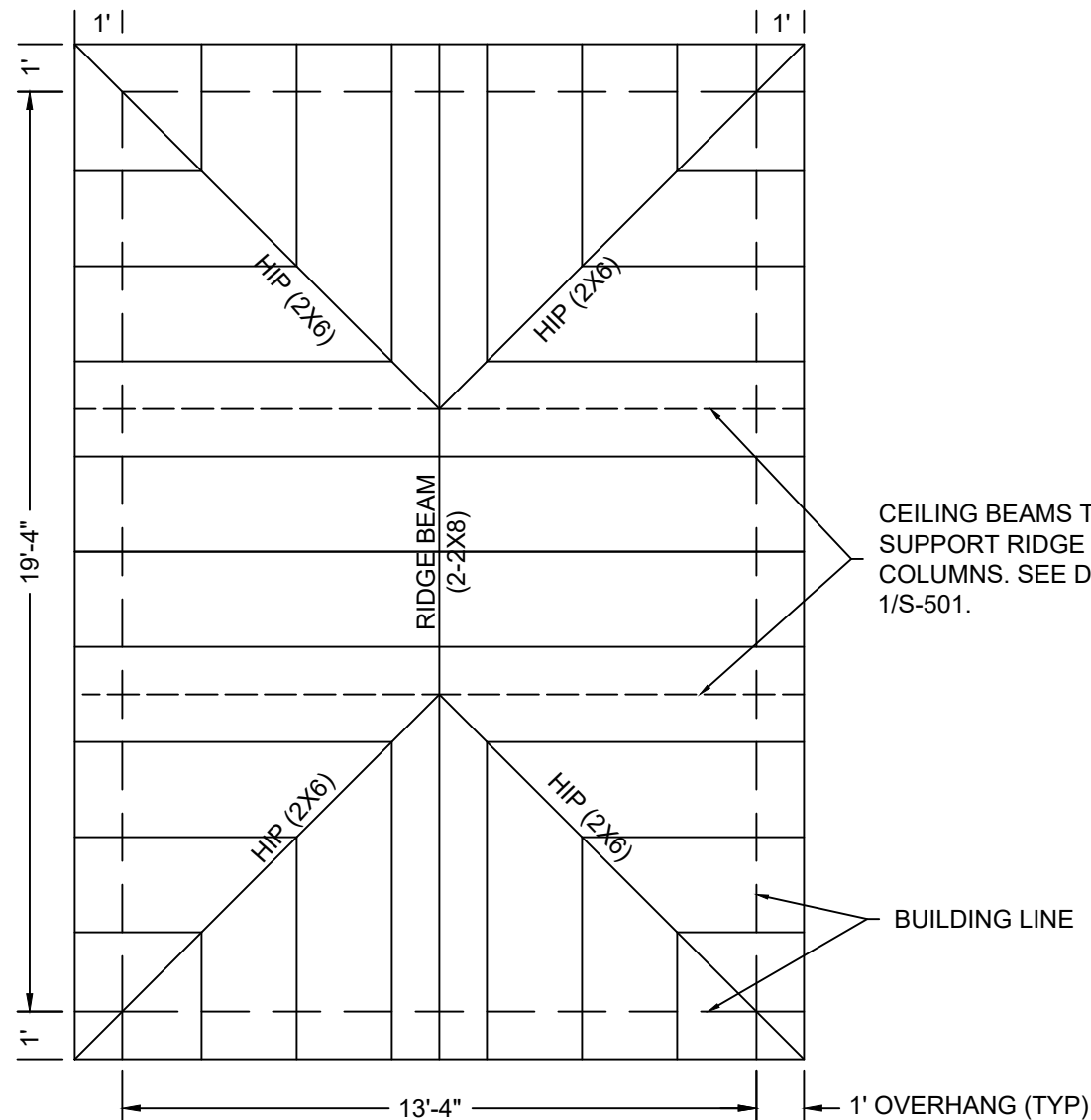
SHEET TITLE ELEVATIONS	SHEET A-101
DATE 3/4/2026	
SCALE AS NOTED	



AREAS:
GROSS 257 SF
NET 237 SF

NOTE: CONTRACTOR TO VERIFY ALL MASONRY OPENINGS WITH MANUFACTURER'S SPEC PRIOR TO CONSTRUCTION.

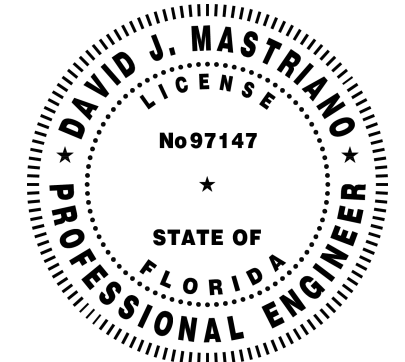
2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



- NOTES:
1. RAFTERS AND JOISTS ARE 2"x6" SPACED 24" OC.
 2. COLLAR TIES ARE 2"x4" AT EVERY RAFTER.
 3. CONNECT RIDGE BOARD TO HIP RAFTERS WITH SIMPSON 'LS50' HIP-RIDGE FACE MOUNT CONNECTOR.
 4. CONNECT RAFTERS TO RIDGE BOARD WITH SIMPSON 'RR'.
 5. CONNECT RAFTERS TO BOND BEAM WITH EMBEDDED META20.
 6. REFER TO SECTION DRAWING FOR COLLAR TIE AND JOIST DETAILS.

1 ROOF PLAN
SCALE: 1/4" = 1'-0"

NO	REVISION	DATE

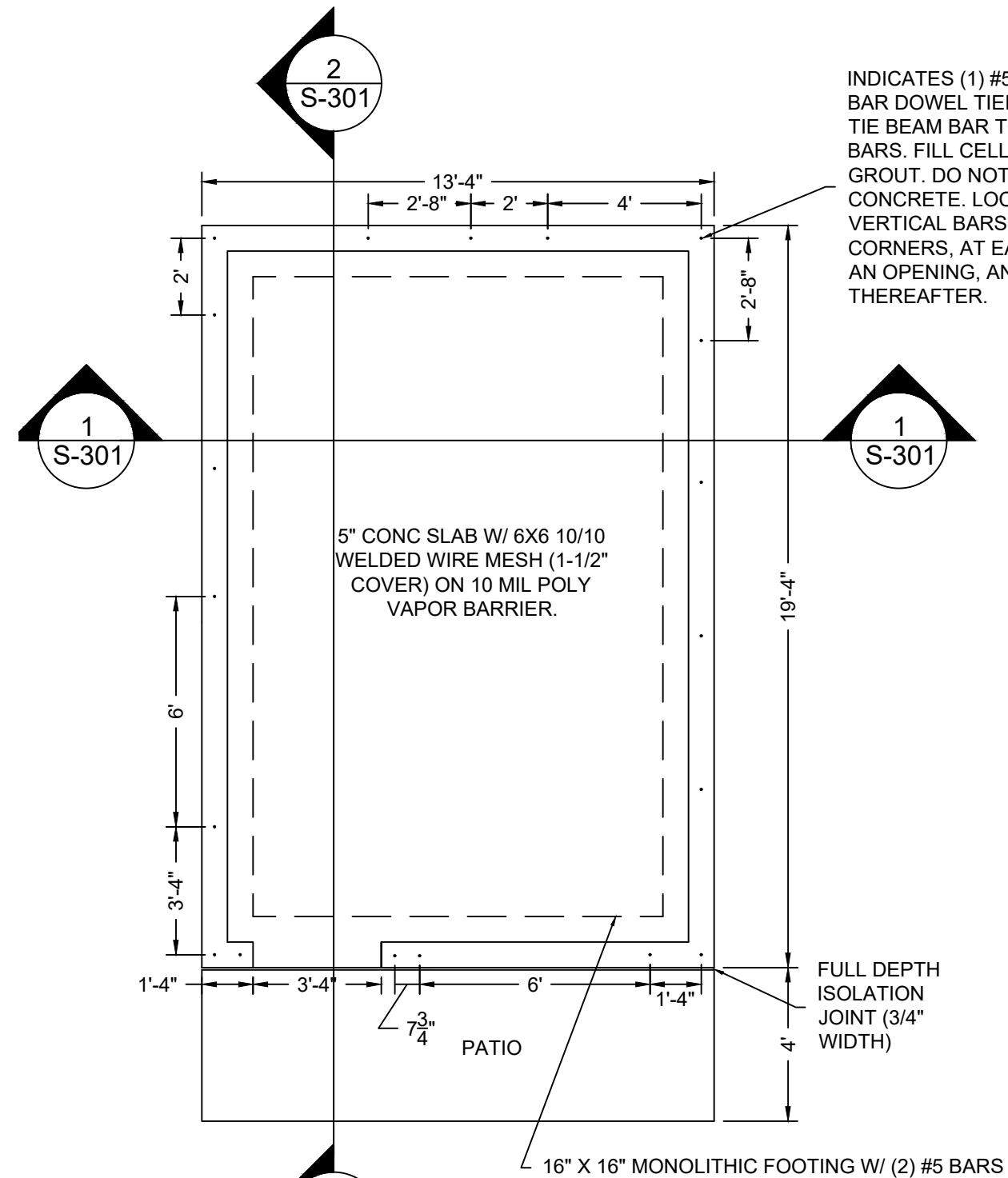


STORAGE SHED
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SHEET TITLE FLOOR AND ROOF PLAN	SHEET
DATE 3/4/2026	S-101
SCALE AS NOTED	

GENERAL NOTES:

1. SCRAPE APPROXIMATELY 4" OF TOPSOIL FOR DISPOSAL. VERIFY NO ORGANICS ARE REMAINING.
2. COMPACT SUBGRADE BELOW SLAB TO 95% MAX DENSITY PER ASTM D689.
3. DO NOT DISTURB SUBGRADE BELOW FOOTER. IF SUBGRADE IS DISTURBED, COMPACT TO 95% MAX DENSITY PER ASTM D689.
4. PLACE 6" BASE COURSE SO THAT IT IS APPROXIMATELY 2" ABOVE SURROUNDING GRADE.

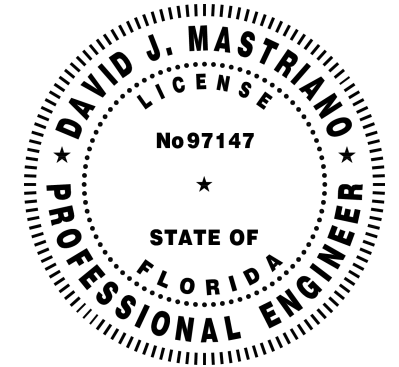


NOTE:

1. DOWEL SPACING 48" TYP UNO.
2. REFER TO DETAIL 1/S-502 FOR REINFORCEMENT DETAILS.

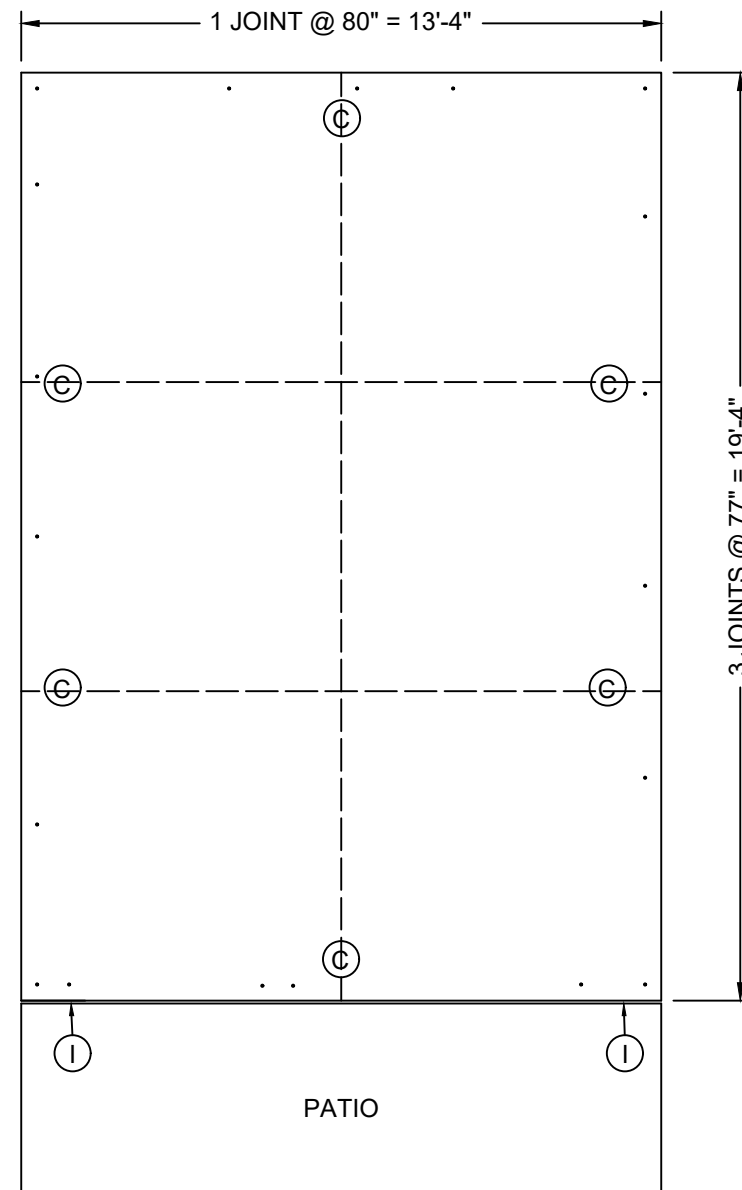
1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NO	REVISION	DATE



STORAGE SHED
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TARPON SPRINGS, FL 34689

SHEET TITLE FOUNDATION PLAN	SHEET S-102
DATE 3/4/2026	
SCALE AS NOTED	



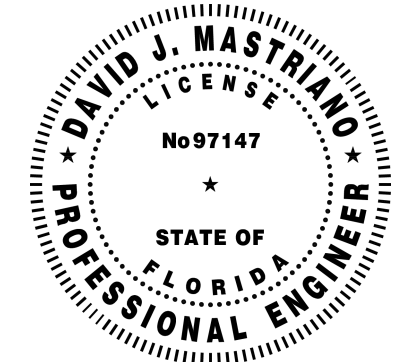
LEGEND:

- ① FULL-DEPTH ISOLATION JOINT (3/4" SEPARATION)
- ⓐ 1-1/4" DEPTH BY 1/8" WIDTH SAW CUT CONTRACTION JOINT

NOTE: JOINTS TO BE SAW CUT THE SAME DAY SLAB IS POURED AS SOON AS THE SLAB IS FIRM ENOUGH TO WALK ON. IN NO CIRCUMSTANCE IS MORE THAN 12 HOURS ALLOWED FROM CONCRETE PLACEMENT. TOOLED JOINTS ARE NOT ALLOWED.

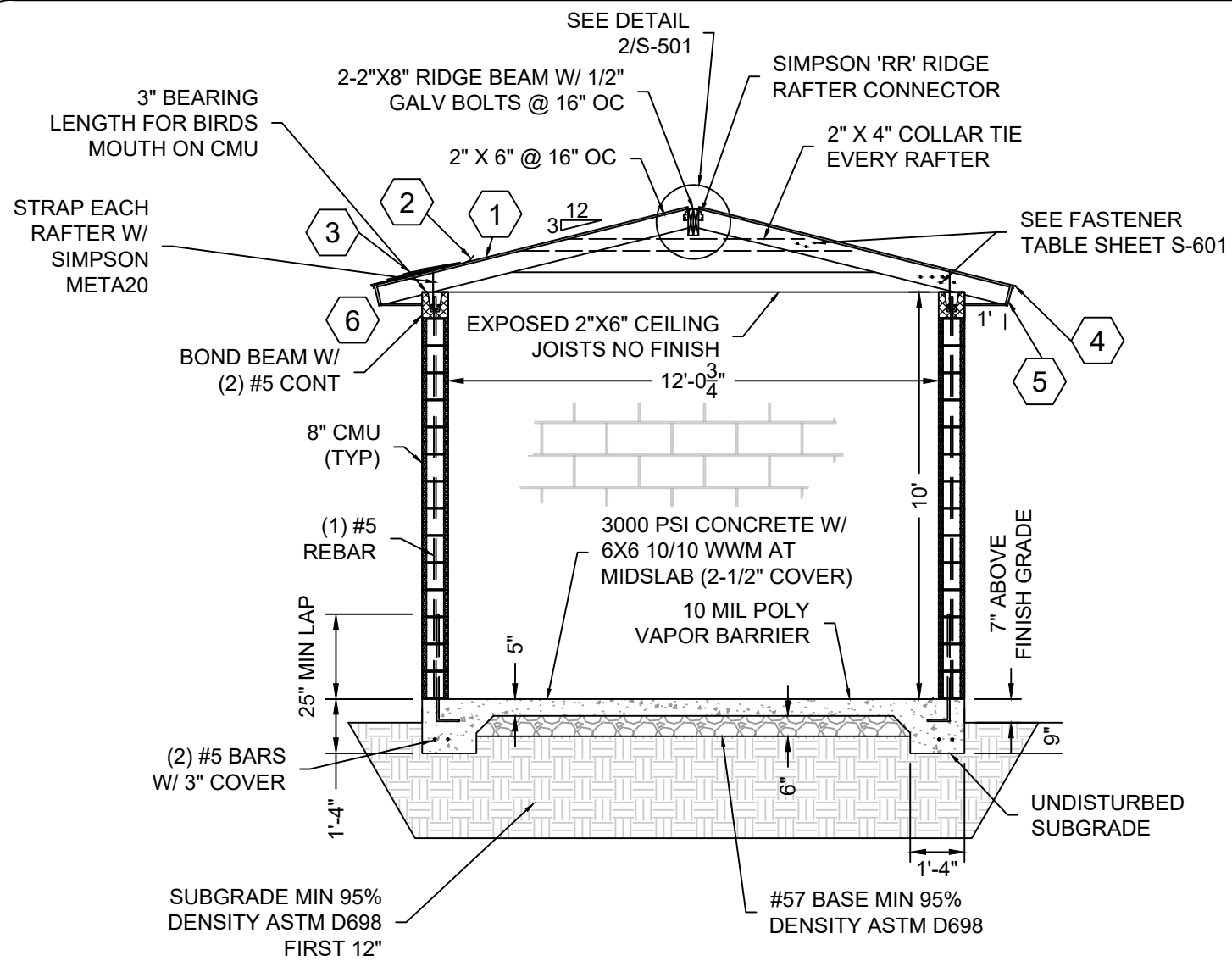
1 JOINT PLAN
SCALE: 1/4" = 1'-0"

NO	REVISION	DATE

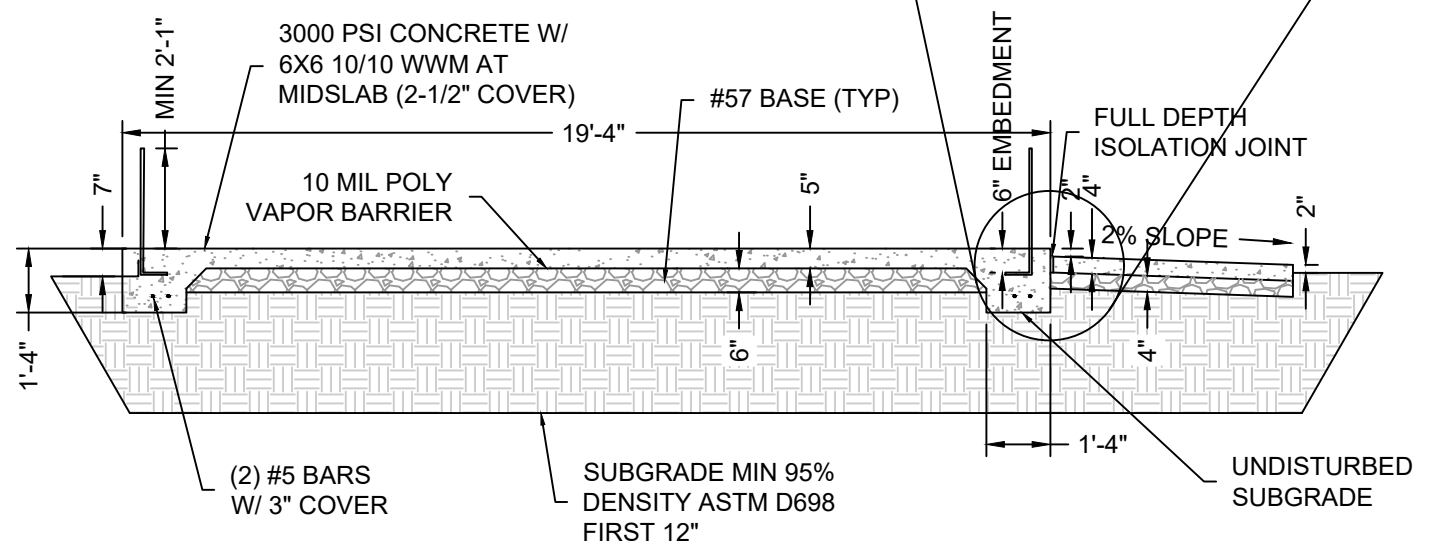


STORAGE SHED
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SHEET TITLE SLAB JOINT PLAN	SHEET S-103
DATE 3/4/2026	
SCALE AS NOTED	



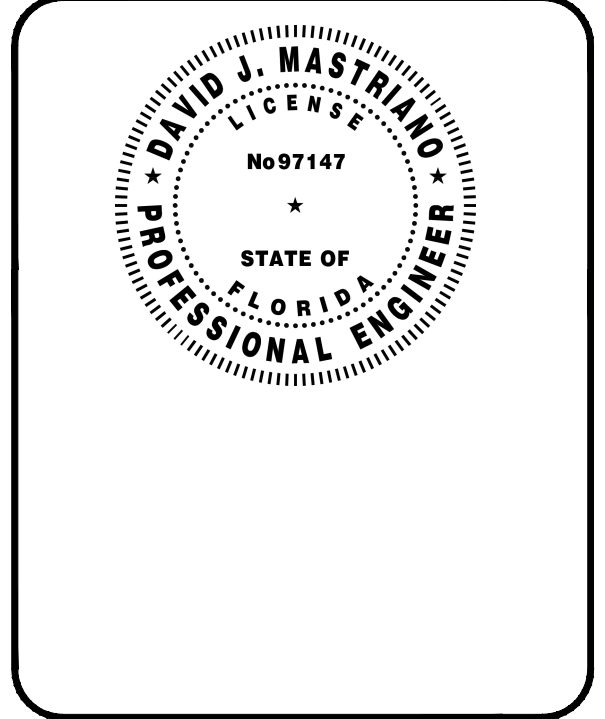
1 **TYPICAL SECTION**
SCALE: 1/4" = 1'-0"



2 **FOUNDATION SECTION**
SCALE: 1/4" = 1'-0"

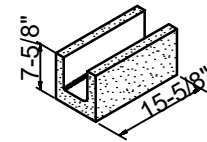
- GENERAL NOTES:**
1. PROVIDE PRE-CAST LINTELS OVER ALL OPENINGS.
 2. PROVIDE REINFORCED GROUTED CELLS ON BOTH SIDES OF WINDOWS AND DOORS.
 3. PLACE FLOOD VENT OPENINGS IN SECOND CMU COURSE SUCH THAT THE BOTTOM INVERT OF THE OPENING IS LESS THAN 1 FOOT ABOVE FINISHED FLOOR ELEVATION.
 4. INSTALL TWO FLOOD VENTS AS INDICATED FOR A TOTAL AREA OF 40 SQUARE INCHES OF OPENINGS TO COVER 250 SF OF FLOOR AREA.
- SHEET KEYNOTES:**
1. 5/8" CDX PLYWOOD
 2. 2 LAYERS OF SELF-ADHERED SYNTHETIC MEMBRANE
 3. ARCHITECTURAL SHINGLES
 4. DRIP EDGE
 5. 1" PVC FASCIA BOARD
 6. JAMES HARDIE SOFFIT

NO	REVISION	DATE

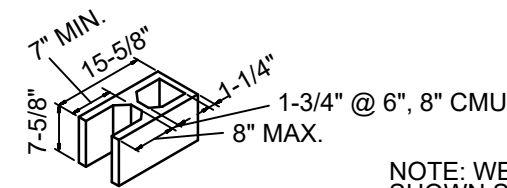


STORAGE SHED
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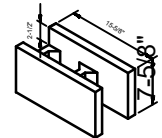
SHEET TITLE FOUNDATION AND WALL SECTIONS	SHEET S-301
DATE 3/4/2026	
SCALE AS NOTED	



6 BOND BEAM U BLOCK
SCALE: 3/8" = 1'



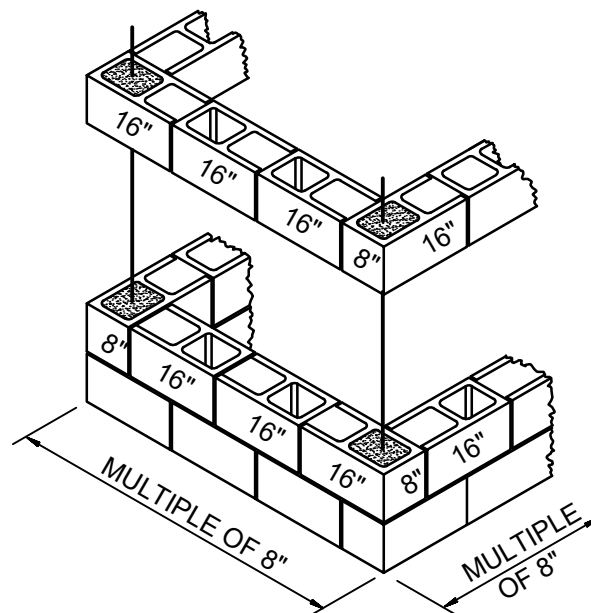
OPEN END UNIT



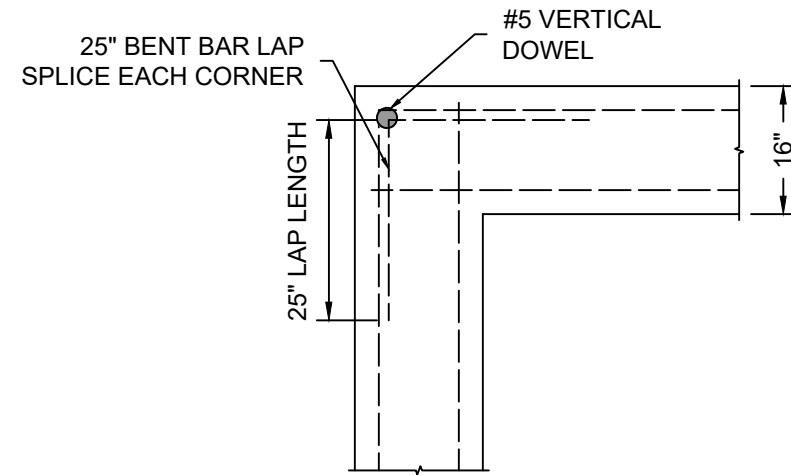
OPEN END BOND BEAM UNIT

NOTE: WEB THICKNESSES SHOWN SATISFY ASTM C90 REQUIREMENTS. UNIT DIMENSIONS AND CONFIGURATION MAY VARY, BUT MUST SATISFY ASTM C90 REQUIREMENTS. THICKNESSES OF WEBS AND FACE SHELLS MAY BE REDUCED UNDER CERTAIN CONDITIONS AS ALLOWED BY ASTM C90. KNOCKOUT WEBS ARE PERMITTED TO FACILITATE HANDLING AND SHIPPING.

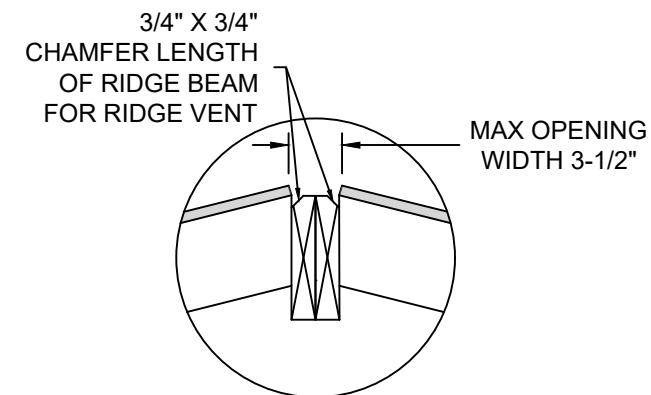
5 OPEN END UNITS DETAIL
SCALE: 3/8" = 1'



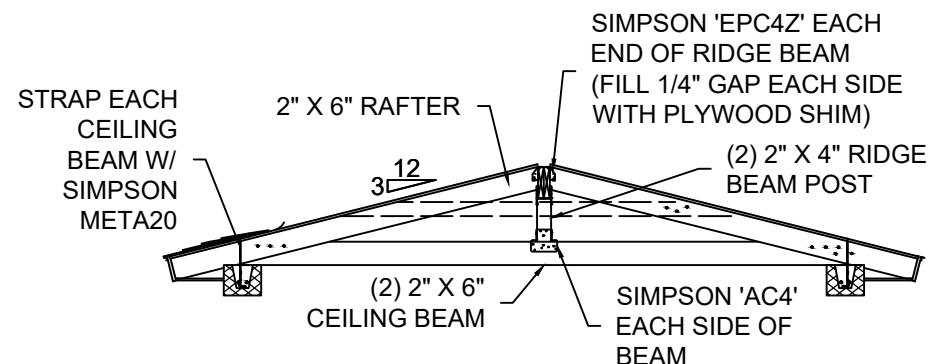
4 CORNER DETAIL CMU WALL
SCALE: 3/8" = 1'



3 FOOTING CORNER DETAIL
SCALE: 1/2" = 1'

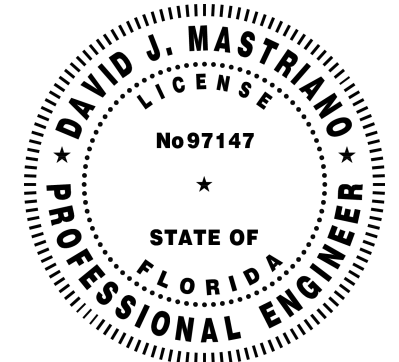


2 RIDGE BEAM DETAIL
SCALE: 1" = 1'



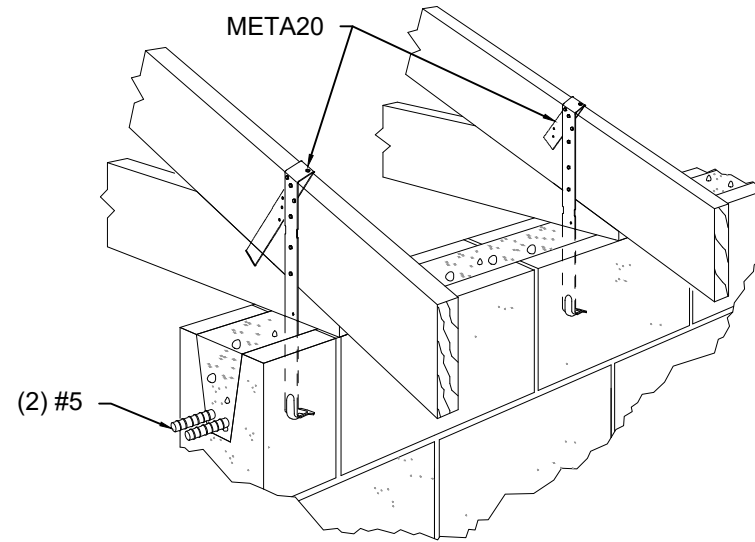
1 RIDGE BEAM TO POST DETAIL
SCALE: 1/4" = 1'

NO	REVISION	DATE



STORAGE SHED
716 SUNSET DRIVE
TARPON SPRINGS, FL 34689

SHEET TITLE STRUCTURAL DETAILS	SHEET S-501
DATE 3/4/2026	
SCALE AS NOTED	

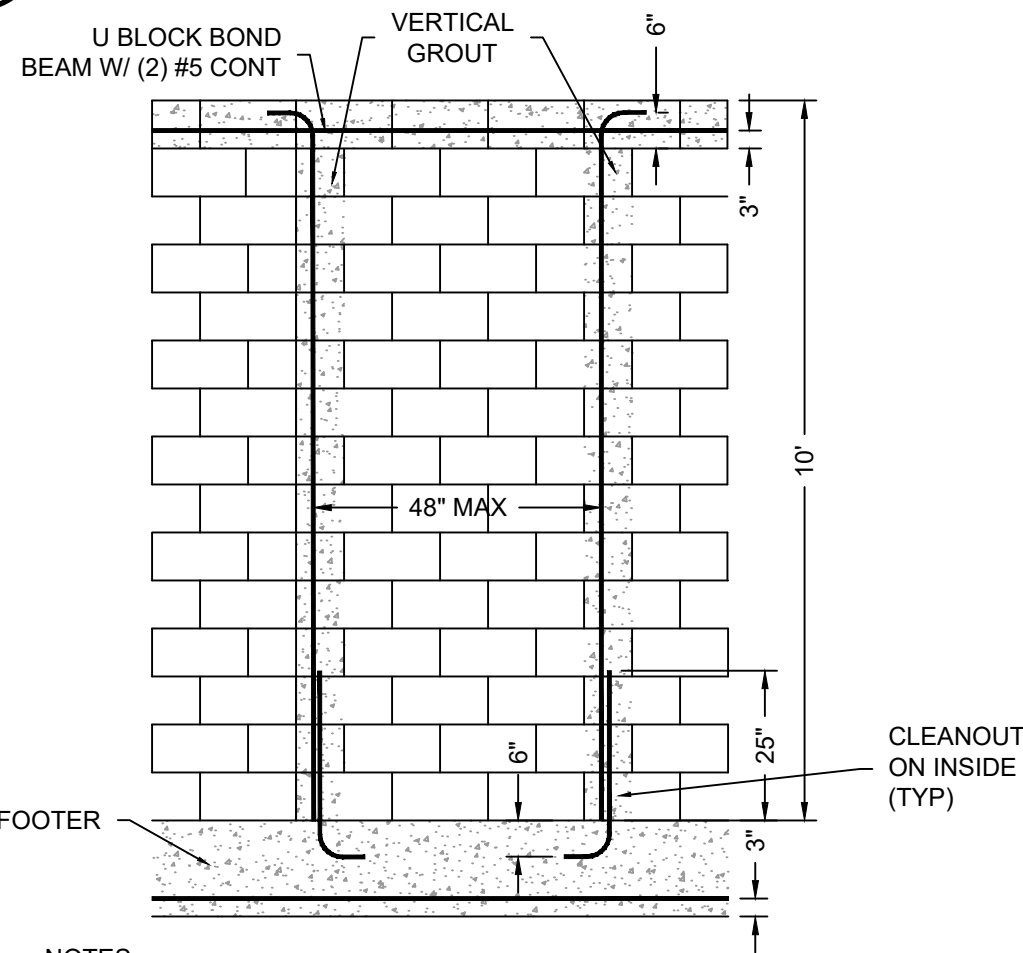


- NOTE:
1. WRAP STRAP OVER RAFTER.
 2. BIRD MOUTH CUT NOT SHOWN.

3

RAFTER TO BOND BEAM ANCHOR

SCALE: 3/8" = 1'

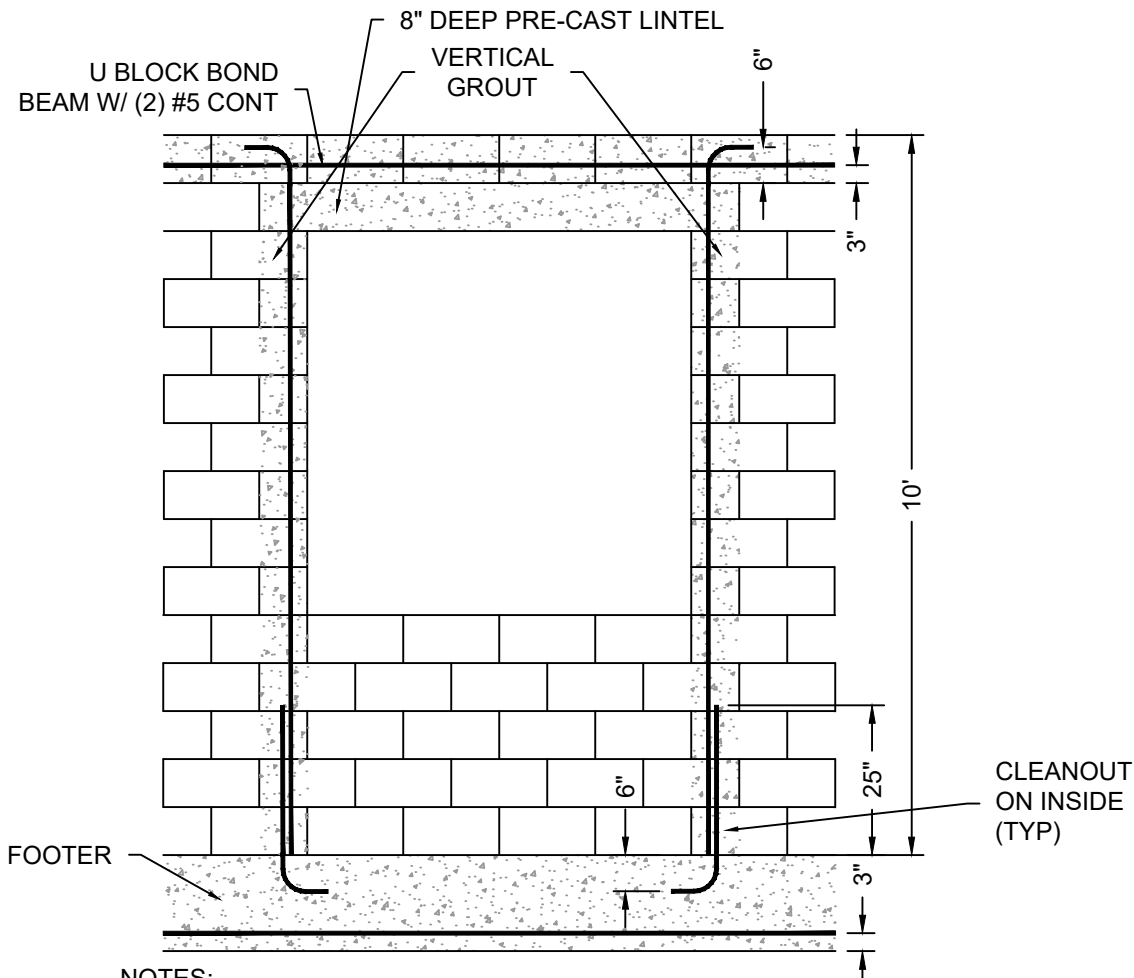


- NOTES:
1. ALL BARS ARE #5. MIN EMBEDMENT 6" INTO FOOTER AND TIE BEAM. HOOK LENGTH 7-1/2". BEND DIAMETER 3-3/4".

1

TYP MASONRY WALL DETAIL

SCALE: 3/8" = 1'



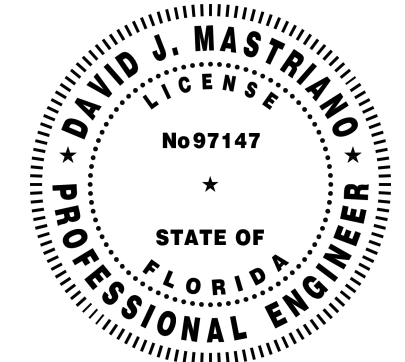
- NOTES:
1. ALL BARS ARE #5. MIN EMBEDMENT 6" INTO FOOTER AND TIE BEAM. HOOK LENGTH 7-1/2". BEND DIAMETER 3-3/4".
 2. LINTEL MIN 8" BEARING LENGTH.

2

CMU WINDOW OPENING DETAIL

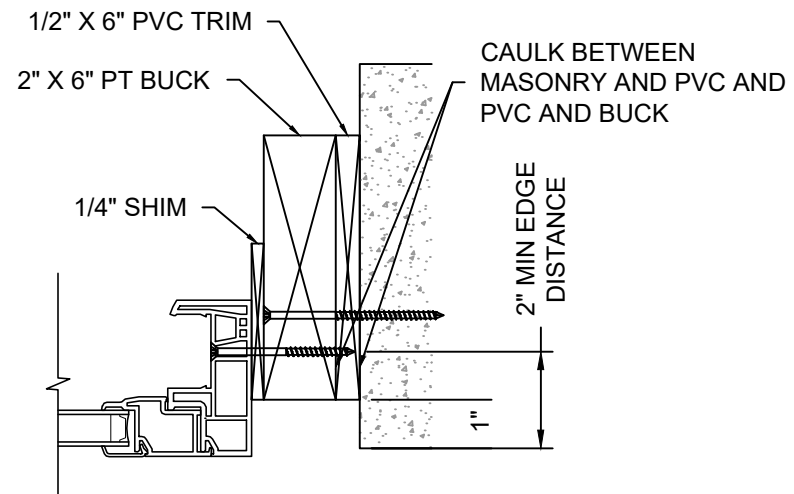
SCALE: 3/8" = 1'

NO	REVISION	DATE

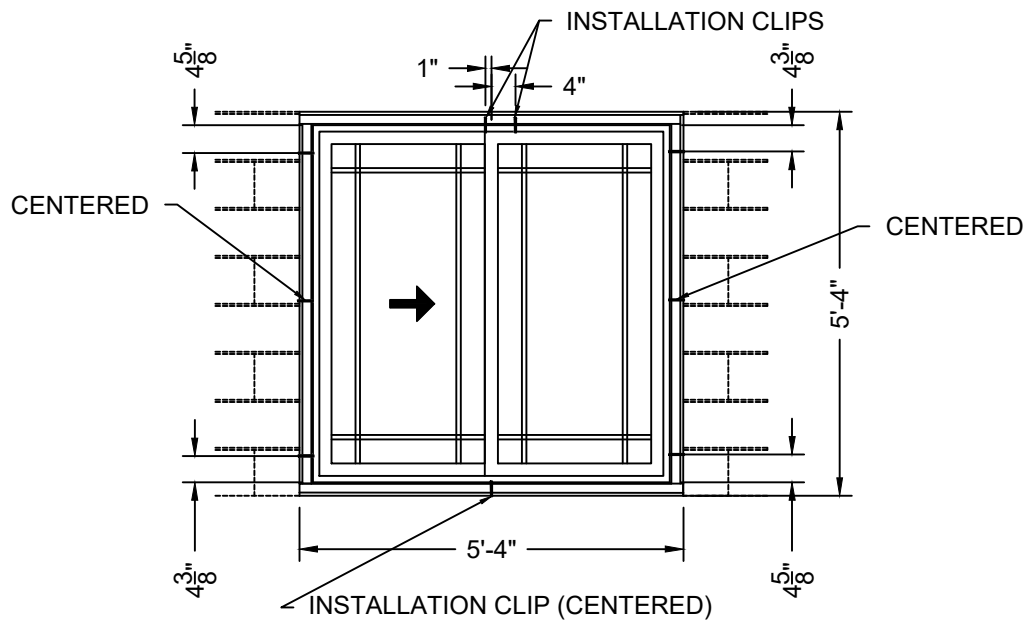


STORAGE SHED
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TARPON SPRINGS, FL 34689

SHEET WALL REINFORCEMENT DETAILS	SHEET S-502
DATE 3/4/2026	
SCALE AS NOTED	



2 WINDOW HORIZONTAL SECTION
SCALE: 3" = 1'



- NOTES:
1. INSTALL WINDOW 7/8" PROUD OF EXTERIOR BLOCK FOR FLUSH STUCCO MOUNT.
 2. ARROW INDICATES OPERABLE SASH.
 3. REMOVE WINDOW NAIL FIN, IF EXISTS. MOUNT BY FRAME.
 4. PLACE 1/2" X 6" PVC TRIM BOARD UNDERNEATH 2" X 6" PT BUCK STRIP. SECURE BUCK STRIP AROUND OPENING W/ (3) 1/4" X 3-3/4" TAPCON (TYP) IN EACH BUCK. DO NOT FASTEN INTO MORTAR JOINTS.
 5. FASTEN WINDOW FRAME TO 2X BUCK STRIP WITH #8 X 3" STAINLESS STEEL WOOD SCREWS IN LAYOUT INDICATED ABOVE.
 6. MAXIMUM SHIM THICKNESS ALLOWED IS 1/4".

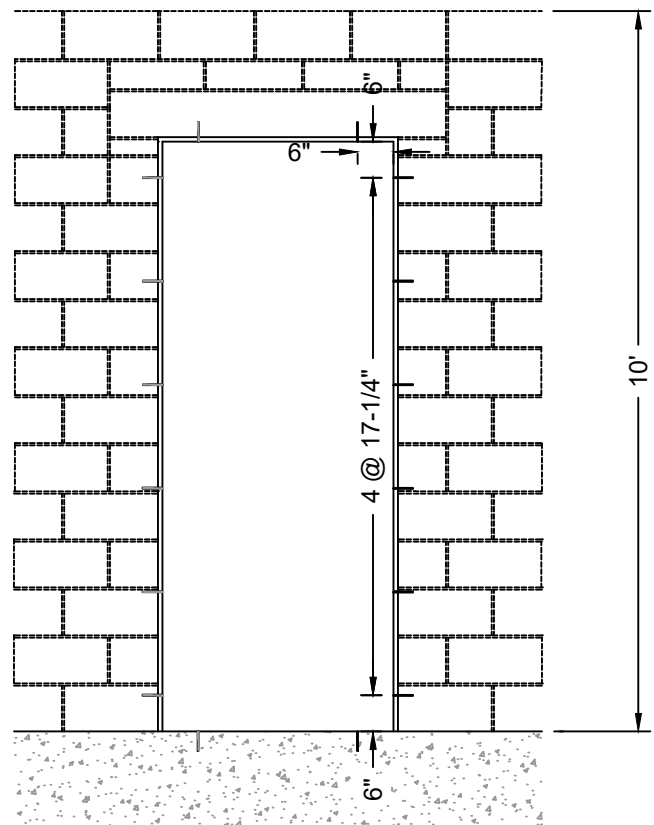
1 WINDOW TO CMU ATTACHMENT
SCALE: 3/8" = 1'

NO	REVISION	DATE



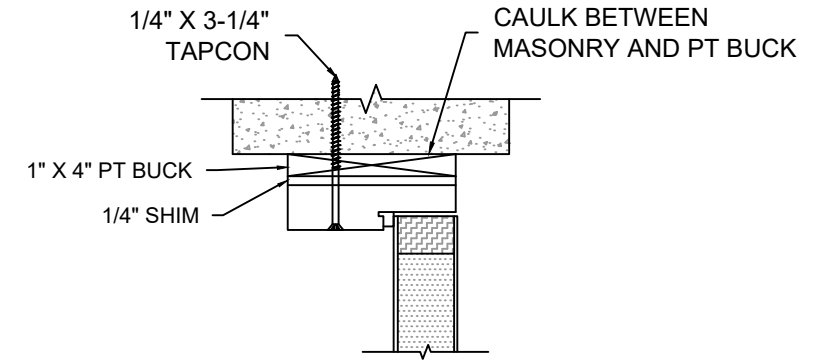
STORAGE SHED
716 SUNSET DRIVE
TARPON SPRINGS, FL 34689

SHEET TITLE WINDOW DETAILS	SHEET S-503
DATE 3/4/2026	
SCALE AS NOTED	

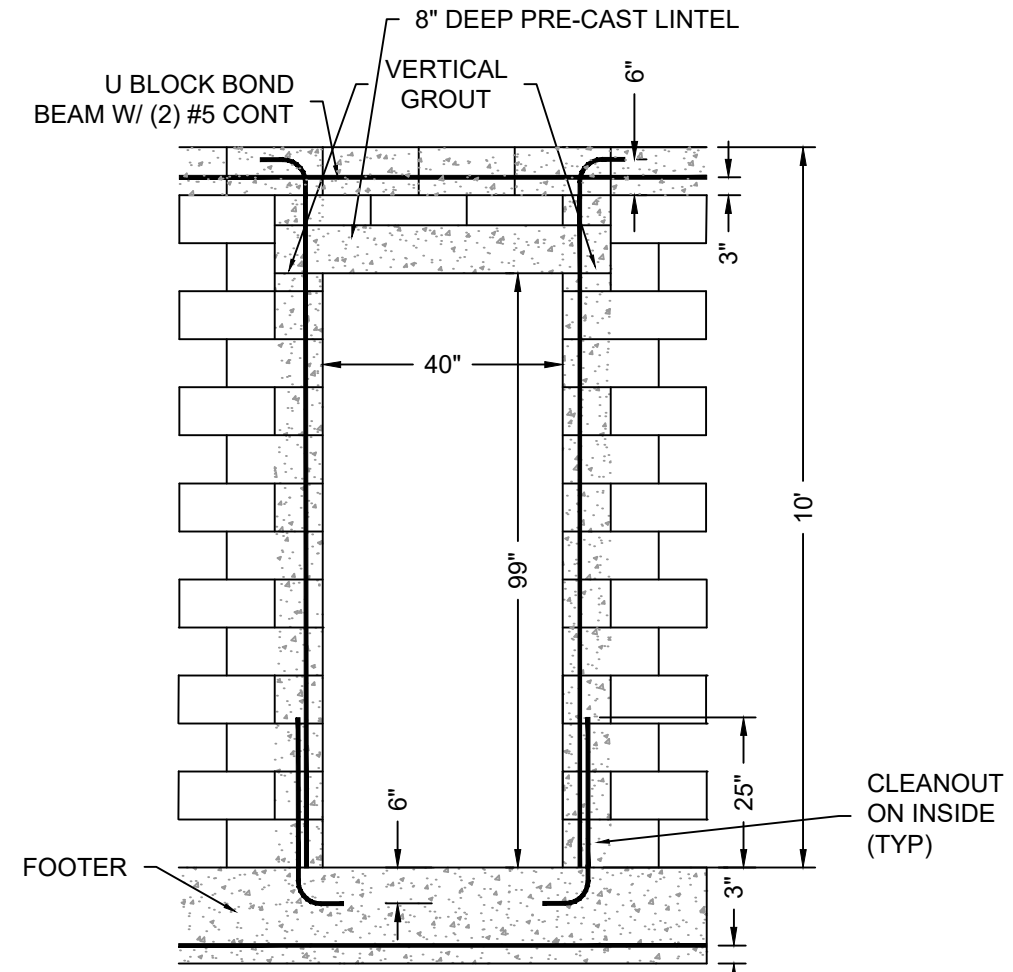


- NOTES:
1. JAMB ANCHORS ARE 1/4" X 3-1/4" TAPCON.
 2. AVOID ANCHORING THROUGH MORTAR JOINTS.
 3. EACH OF 4 HINGES MUST HAVE 1/4" X 2-1/2" SCREW THROUGH JAMB.
 4. REFER TO HORIZONTAL SECTION FOR FURTHER DETAIL.

2 **DOOR TO CMU ATTACHMENT**
SCALE: 3/8" = 1'



3 **DOOR HORIZONTAL SECTION**
SCALE: 3" = 1'



- NOTES:
1. ALL BARS ARE #5. MIN EMBEDMENT 6" INTO FOOTER AND TIE BEAM. HOOK LENGTH 7-1/2". BEND DIAMETER 3-3/4".
 2. LINTEL MIN 8" BEARING LENGTH.

1 **CMU DOOR OPENING DETAIL**
SCALE: 3/8" = 1'

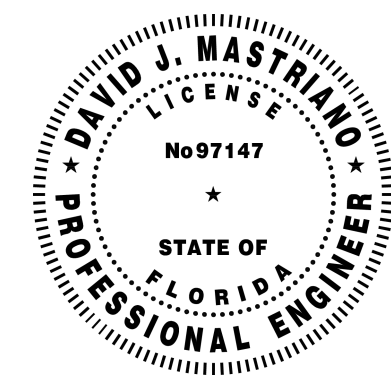
NO	REVISION	DATE



STORAGE SHED
716 SUNSET DRIVE
TARPON SPRINGS, FL 34689

SHEET TITLE DOOR DETAILS	SHEET S-504
DATE 3/4/2026	
SCALE AS NOTED	

NO	REVISION	DATE



TYPICAL CONNECTOR AND FASTENING SCHEDULE						
	MANUFACTURER	PART NO.	QUANTITY	DESCRIPTION	FASTENERS	NOTES
1	SIMPSON	EPC4Z	2	RIDGE BEAM POST TO RIDGE BEAM	(10) 0.148" X 3" BEAM (8) 0.148" X 3" POST	
2	SIMPSON	AC4	4	RIDGE BEAM POST TO CEILING BEAM	(8) 0.162" X 3-1/2" BEAM (8) 0.162" X 3-1/2" POST	
3	SIMPSON	LS50	36	RIDGE BEAM TO HIP RAFTER JACK TO HIP RAFTER	(8) 0.148" X 1-1/2"	ONE TIME BEND ONLY
4	SIMPSON	RR	6	RAFTER TO RIDGE BEAM	(4) 0.148" X 1-1/2" RIDGE BEAM (4) 0.148" X 1-1/2" RAFTER	
5	SIMPSON	META20	32	BOND BEAM TO CEILING BEAM BOND BEAM TO RAFTER	(8) 0.148" X 1-1/2"	WRAP OVER AND AROUND TO SECURE WITH 4 NAILS EACH SIDE
6	-	-	-	COLLAR TIE TO RAFTER	4-10D BOX (3" x 0.128"); OR 3-10D COMMON (3" x 0.148"); OR 4-3" x 0.131" NAILS	
7	-	-	-	CEILING JOIST TO RAFTER	(6) 0.148" X 3" (5) 0.162" X 3-1/2" (5) 16D NAILS	
8	-	-	-	RIDGE BEAM PLYS	1/2" THROUGH-BOLTS	SPACED 16" OC MAX AND NO FURTHER THAN 8" FROM EDGE AVOID RAFTER LOCATIONS

STORAGE SHED
716 SUNSET DRIVE
TARPON SPRINGS, FL 34689

SHEET TITLE CONNECTOR TABLES	SHEET S-601
DATE 3/4/2026	
SCALE NTS	



CITY OF TARPON SPRINGS
BOARD OF ADJUSTMENT
[APRIL 22, 2026]

STAFF REPORT

Application No. / Project Title: #25-100 (The Shops at Meres)
Staff: Allie Keen, AICP, Principal Planner
Agent / Owner: J.D. Alsabbagh / Juniper Development, LLC
Property Size: +/- 1.83 acres (Total)
+/- 0.63 acres (Uplands)
+/- 1.20 acres (Wetlands/Submerged Land)
Current Zoning: T5a (South Pinellas Ave) Transect Zone
Current Character District: South Gateway
Location / Parcel ID: 1098 S. Pinellas Ave / 13-27-15-89946-007-0010

BACKGROUND SUMMARY:

The applicant is requesting variance approval to allow the front setbacks to exceed the maximum setback allowed for the purpose of constructing a new multi-tenant retail building. The applicant is requesting a primary frontage (Pinellas Ave) setback of 88 feet, 78 feet greater than the maximum setback, and a secondary frontage (Meres Blvd) setback of 77 feet, 62 feet greater than the maximum setback.

Additional background information and site history is provided in the Planning Considerations section of this report.

PRELIMINARY STAFF RECOMMENDATION:

Based on the information available at the time this report was prepared, staff recommends *denial* of the variance request.

Although there are site limitations that affect development, it is of staff's opinion that those constraints do not warrant the increased setback. The layout could be redesigned to better meet the intent of the SmartCode and, the layout options are not hindered from meeting that intent because of the property's configuration or site conditions. As redevelopment occurs in this area over time there will be a shift in the development pattern to be more pedestrian-oriented with a higher focus on the overall relationship to the street, rather than the current suburban style site layouts. This property not only serves as a gateway into the downtown, but it also represents the first new development under the SmartCode regulations in the South Gateway character district. Therefore, acknowledging the strict intent of the code as much as possible is essential.

LAND DEVELOPMENT CODE CONSIDERATIONS:

Character District Intent: The South Gateway character district consists of some large acreage redevelopment sites. The intent of the character district development standards is to encourage mixed use development with ground floor retail and residential or offices on upper floors.



Development Standards: Per Table 5B(v) of the SmartCode, the maximum setback for the primary frontage is 10 feet and 15 feet for the secondary frontage in the T5a transect zone.

CURRENT PROPERTY INFORMATION:

Use of Property:	Vacant
Site Features:	Disturbed uplands, mangrove wetlands and submerged land.
Vehicle Access:	This property gains access from Apricot Court. The site plan also shows access from Meres Blvd., however, that additional access will require variance approval from Pinellas County.

SURROUNDING ZONING & LAND USE:

	Zoning:	Character District/Land Use:
North:	T5a (South Pinellas Ave)	South Gateway (Vacant)
South:	RO (Residential Office)	O (Office) (Vacant)
East:	SDa (South Gateway Special District)	South Gateway (Shopping Center)
West:	T4c (Residential High)	South Gateway (Vacant)

PLANNING CONSIDERATIONS:

When considering this application, the following general site conditions, planning concepts, and other facts should be noted:

1. The applicant is proposing to build two multi-tenant retail buildings totaling 14,093 square feet on the subject property.
2. This site is located in the Special Area Plan and is governed by the Transect-Based Infill Code for the Sponge Docks and CRA (SmartCode). The SmartCode’s form-based standards are focused on the overall form (scale and massing) of buildings on a site and their relationship to the street in order to create a more pedestrian-oriented and vibrant area. Typically, buildings are situated closer to the street and parking is located to the rear of the property. To achieve this, the transect zones typically have maximum building setbacks rather than traditional minimum setbacks.
3. A maximum setback requires the building to be located somewhere between the property lines and the maximum setback distance. The T5a transect zone establishes a maximum setback of 10 feet for the primary frontage (Pinellas Ave) and 15 feet for the secondary frontage (Meres Blvd). The applicant is proposing to place the building further back from the intersection and is requesting a setback of 88 feet from the Pinellas Ave frontage and 77 feet from the Meres Blvd frontage. The proposed setbacks allow for parking in the front/sides of the building and a drive-through lane running behind the building.
4. The following history is of relevance to the proposed variance request:
 - a. Two resolutions for development of this property have been approved in the past by the Board of Commissioners (BOC):
 - i. Resolution 2010-33: A site plan (App. #10-20) to allow a multi-tenant commercial establishment was approved on July 6, 2010. The subject property is approximately 1.83 acres in size, with approximately 1.20 acres being comprised of wetlands and submerged lands. To allow for the proposed development, the applicant proposed to mitigate wetland impacts by constructing a wetland mitigation project at the City’s North Anclote River Nature Park, which was completed in February 2015.



However, the approved commercial project was never built. The wetland mitigation is now in its 10th year and has been reported as successful in the latest (August 2025) monitoring report.

- ii. Resolution 2020-08: A site plan (App. #18-128) to allow a medical and general office building was approved on May 12, 2020. This project was also never built.
 - b. In December 2023, the applicant submitted a new site plan application (#23-154) seeking approval of the same site plan that was approved in 2020. This would again allow the construction of a medical/office building. This application was denied by the Board of Commissioners (BOC) on December 9, 2025. The BOC expressed concerns about the proposed method of dry floodproofing, visibility at the intersection, wetland impacts, roadway access configuration, and overall compatibility with the surrounding existing development.
 - c. The applicant amended their proposal back to a multi-tenant commercial establishment similar to the original 2010 proposal, which predated the adoption of the SmartCode. The amended site plan resulted in the building being pushed back significantly from the intersection. In January 2026, the current variance application was submitted to allow the larger front setbacks.
5. The applicant has indicated the property's environmental, utility infrastructure, and access constraints necessitate the increased setback to allow for a functional building area and proper site circulation.
 6. The existing development within the South Gateway character district predates the SmartCode standards and reflects a more suburban style of development. The proposed project will be the first new building within the South Gateway character district developed under the SmartCode regulations.
 7. The proposed project requires a minimum of 42 parking spaces. According to the provided site plan, there are 59 parking spaces proposed. During the review of this application, it was asked if removing some parking along the frontage was possible to allow the building to be set closer to the street. The applicant indicated removing parking along the frontage would significantly reduce the amount necessary to support the retail uses. Further, the applicant stated that removing a portion of the parking along the frontage and/or narrowing the drive aisles would impact site circulation and affect the drive-through operations. To mitigate the impacts of parking, the applicant is proposing outdoor sitting areas along the front of the building and at the southeast corner of the site, pedestrian connections from the public sidewalk to the building, and pervious pavement for a row of parking. A more detailed narrative addressing parking can be found in the "Applicant Response to Comments" attachment (see Planning and Zoning Comment #0003).
 8. If the variance is approved, the applicant will be required to submit for site plan and conditional use (to allow the drive-through) approval. These new applications will be evaluated for compliance with the City's 2045 Comprehensive Plan, which includes specific policies regarding wetland impacts and protection buffers. These policies will likely have a significant impact on the proposed project. The prior site plans were reviewed under the previous Comprehensive Plan which did not include these wetland policies.

REVIEW STANDARDS / PROVISIONAL FINDINGS OF FACT:

Section 215.02(B) of the Land Development Code provides that the Board of Adjustment shall grant no variance unless certain standards are met and proven by competent substantial evidence. These standards, along with planning staff's provisional findings of fact are provided below:

- 1. The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.**



Provisional Findings: The property presents some limitations for development primarily due to the presence of wetlands/submerged lands. However, a majority of the site is comprised of wetlands and there would be impacts regardless of the building's placement on the property. Further, the site is relatively large at 1.83 acres and is not oddly shaped. Therefore, the physical constraints do not warrant the increased setbacks. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard **has not** been met.*

- 2. The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant.**

Provisional Findings: The SmartCode standards went into effect while the property was under the ownership of the applicant. Further, the previous site plans were submitted after the SmartCode went into effect and complied with the maximum setbacks. Although the most recent site plan application was denied by the BOC, modifications to the proposed site layout could mitigate some of the concerns raised by the Board members without resulting in the large setback. Additionally, the proposed project includes a drive-through use which necessitates parking to be located along the street frontages to avoid circulation conflicts. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard **has not** been met.*

- 3. Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant of reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property.**

Provisional Findings: Literal enforcement of the SmartCode would necessitate the site being redesigned to reduce the front setbacks. The applicant has provided site plans for the property in the past that comply with the setback standards. The property constraints can be acknowledged while still allowing for a multi-tenant retail building. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard **has not** been met.*

- 4. Granting the variance will not confer any special privilege that is not allowed for other lands, buildings or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances.**

Provisional Findings: As redevelopment occurs in this area over time there will be a shift in the development pattern to be more focused on the building form and to promote a pedestrian-oriented environment, rather than the current suburban style site layouts. Approval of the proposed variance could result in granting special privilege because the maximum setbacks apply to any new development or the redevelopment of properties within the same transect and character district. This property represents the first new development under the SmartCode regulations in the South Gateway character district and serves as a gateway into the downtown. Although there are some constraints on the site, the layout and proposed inclusion of a drive-through use could be modified to meet the standards and overall goals of the SmartCode, as seen on previous site plan submittals. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard **has not** been met.*

- 5. Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.**



Provisional Findings: Approval of the variance is not expected to substantially diminish property values of the surrounding area, which is comprised of primarily retail, restaurant, personal service uses and undeveloped properties. Although the current standards are aimed at achieving a more pedestrian-oriented environment as redevelopment occurs, the existing development pattern is consistent with the proposed plans. *Based upon evidence available when this report was prepared, staff is of the opinion that this standard has been met.*

PUBLIC CORRESPONDENCE:

Notices were sent to property owners within 500 feet of the subject property; a legal notice was published in the Tampa Bay Times; and the property was posted. *Staff has not received any responses to these notices.*

ATTACHMENTS:

1. Staff Presentation
2. Variance Addendum
3. Site Plan
4. Applicant Response to Comments
5. Process Advisory Letter to Applicant & Applicant Response

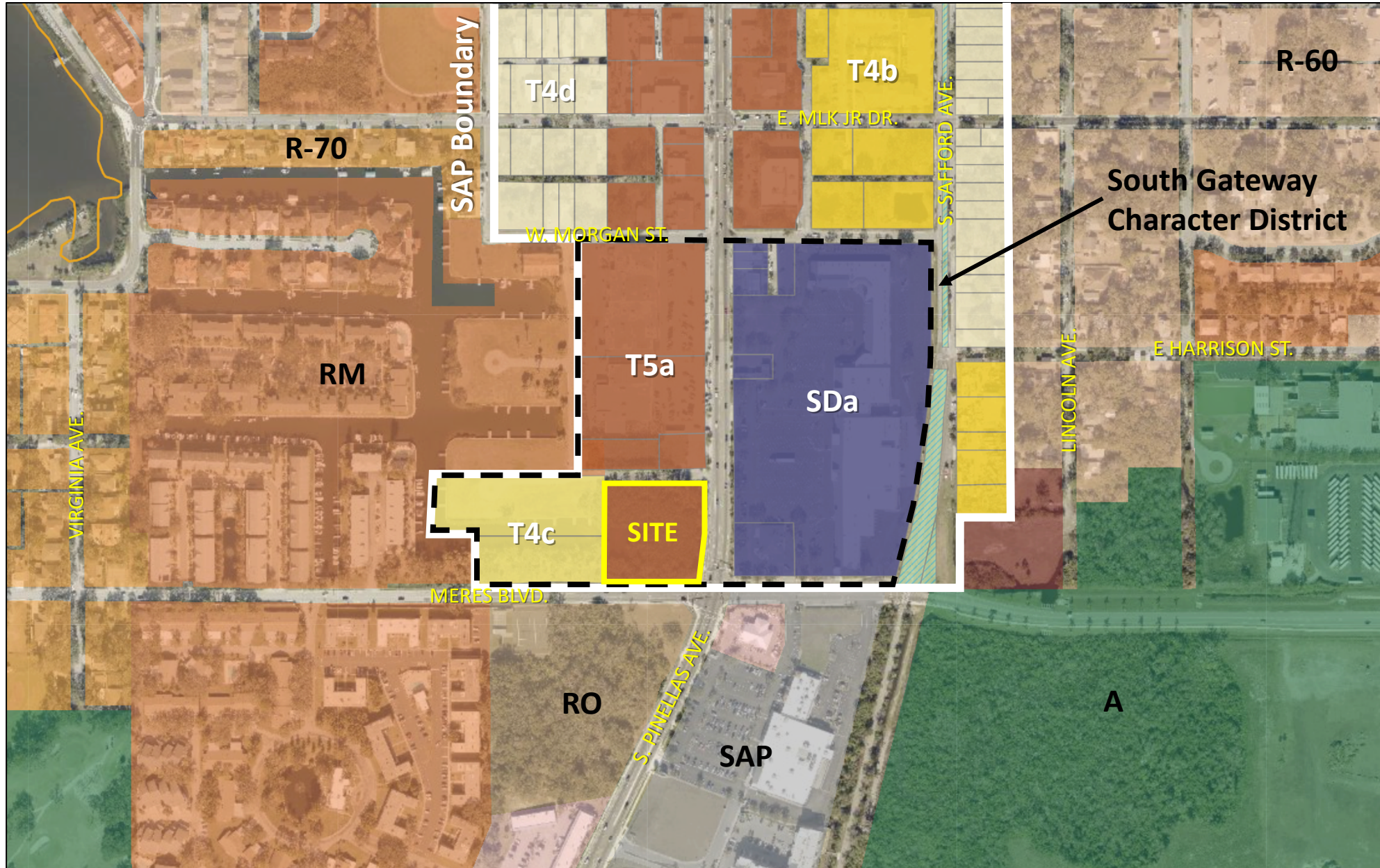
THE SHOPS AT MERES

#25-100

Board of Adjustment – April 22, 2026



LOCATION & CONTEXT



REQUEST

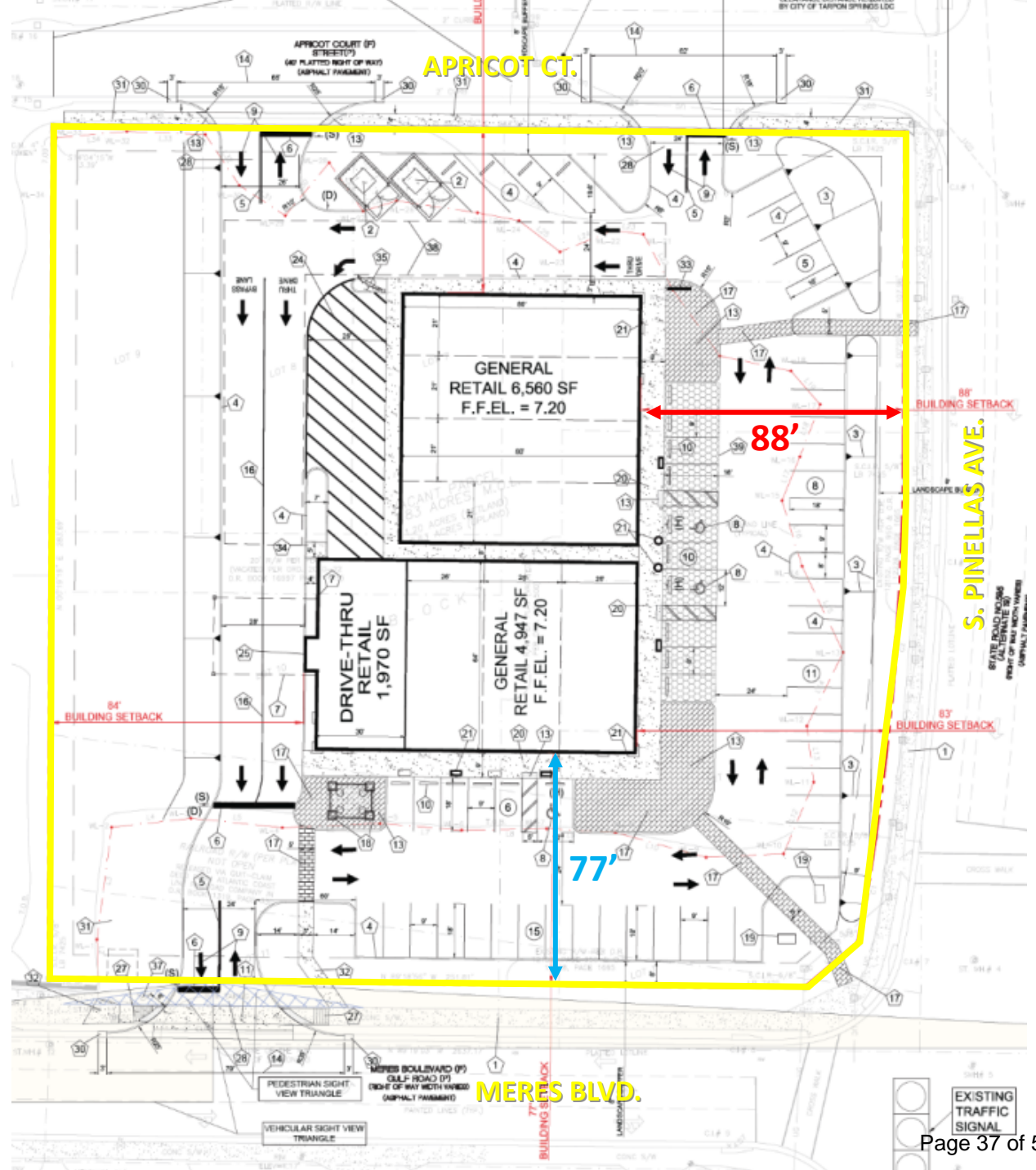
- **#25-100 – Frontage Setbacks**
 - Primary Frontage (Pinellas Ave)
 - Allowed = 10 ft. Maximum
 - Proposed = 88 ft.
 - Secondary Frontage (Meres Blvd)
 - Allowed = 15 ft. Maximum
 - Proposed = 77 ft.
- **Agent/Owner:** J.D. Alsabbagh/ Juniper Development, LLC
- *Variance request to allow front setbacks that exceed the maximum setback for the purpose of constructing a new multi-tenant commercial building.*





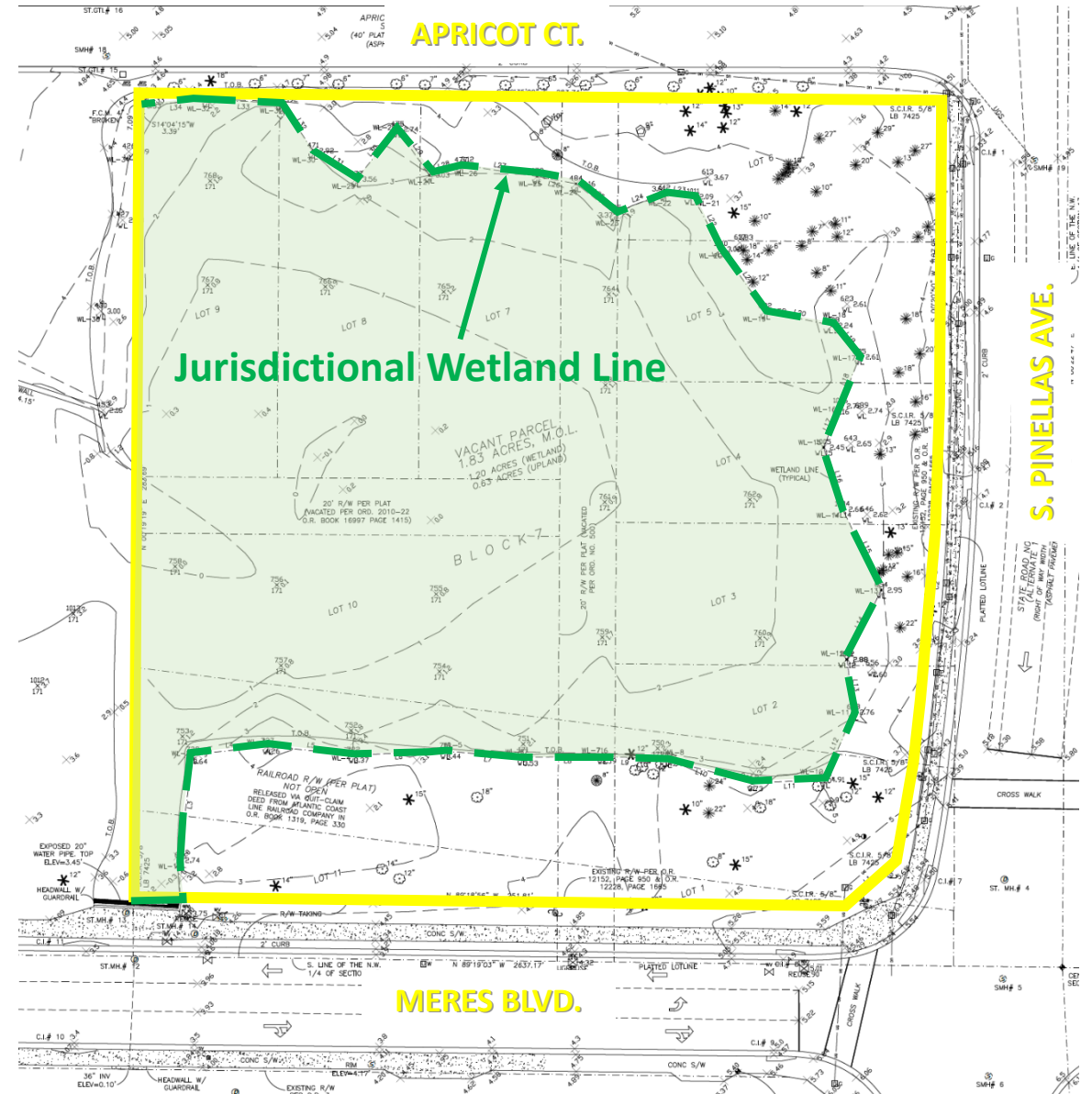
SITE PLAN

- **T5a Transect Frontage Setbacks:**
 - Primary Frontage (Pinellas Ave)
 - Maximum Allowed = 10 ft.
 - Proposed = **88 ft.**
 - Secondary Frontage (Meres Blvd)
 - Maximum Allowed = 15 ft
 - Proposed = **77 ft**



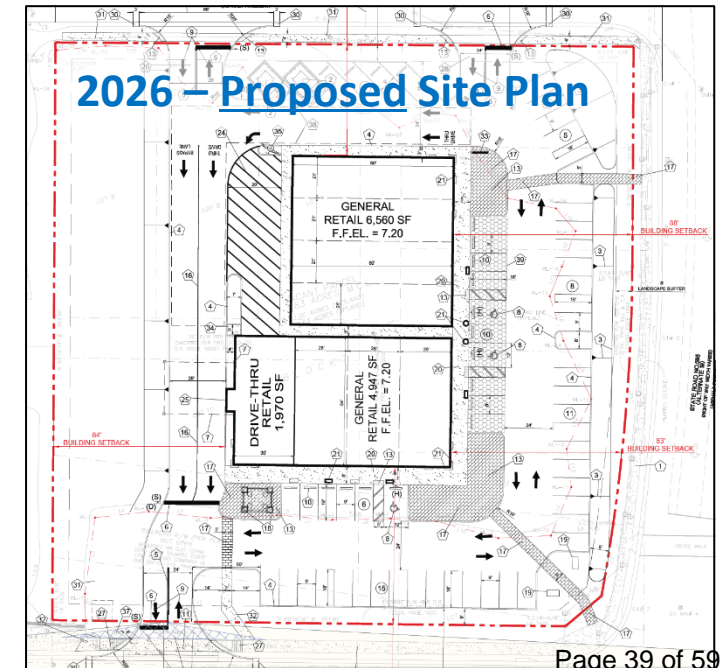
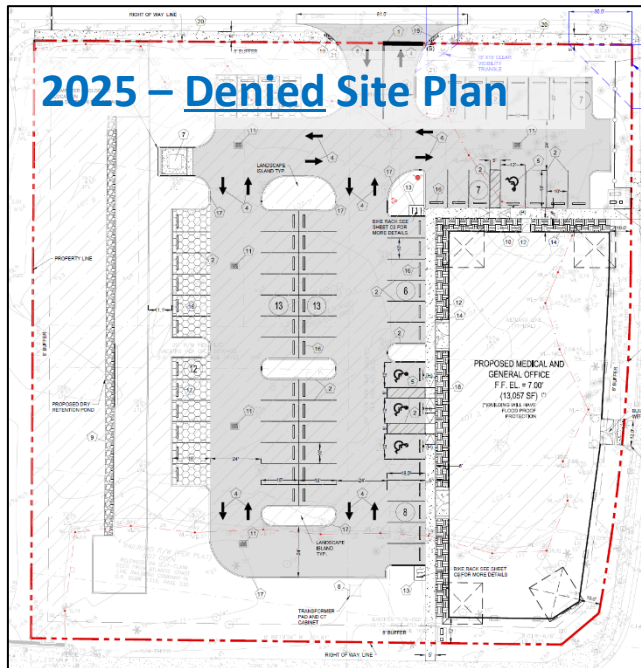
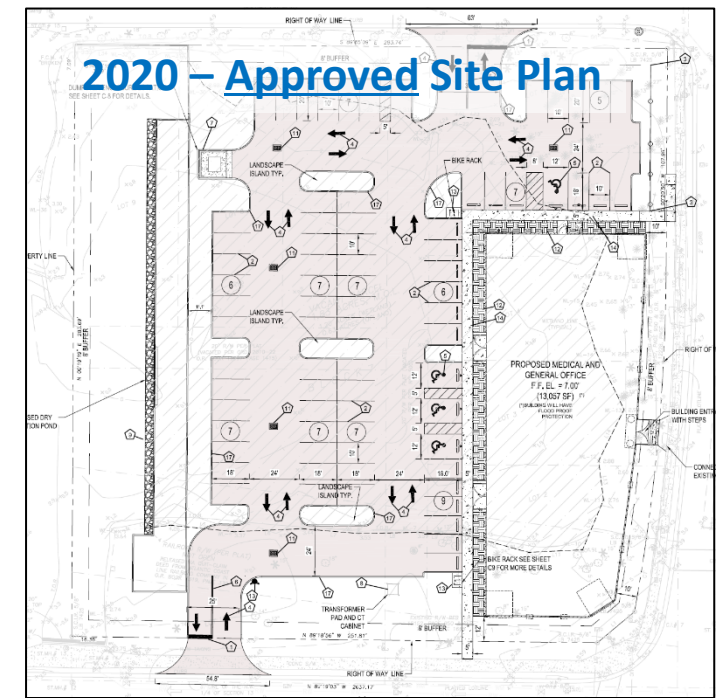
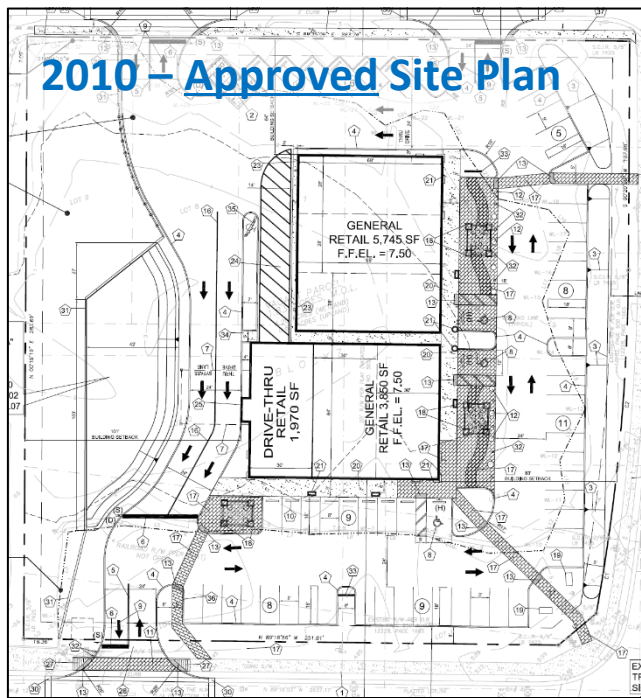
SITE CONDITIONS

- **Total Site Area = +/- 1.83 acres**
 - Uplands = +/- 0.63 acres
 - Wetlands = +/- 1.20 acres
- **Access**
 - Pinellas Ave. – FDOT Road (No Access)
 - Meres Blvd. – County Road (Requires Variance Approval)
 - Apricot Ct. – City Road
- **Utility Infrastructure**
 - Existing location of utility lines/poles near intersection will need to be surveyed to ensure no impacts from proposed development.



SITE HISTORY

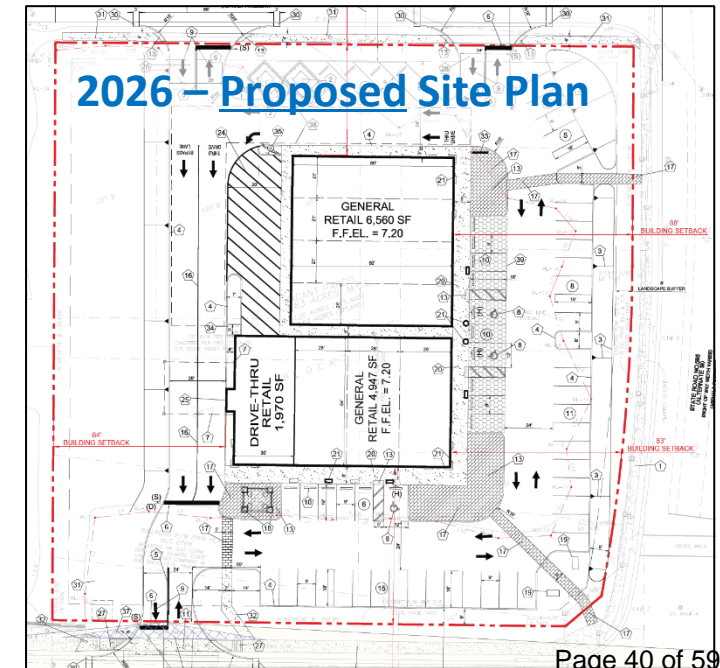
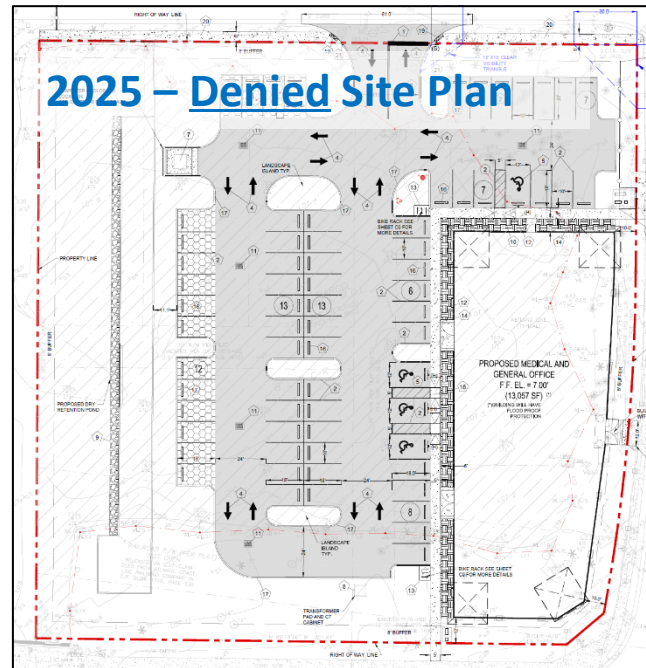
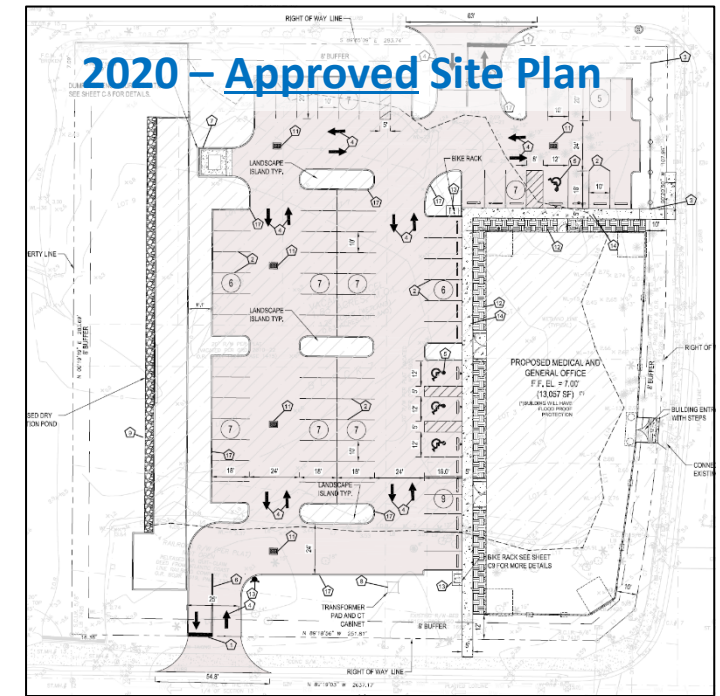
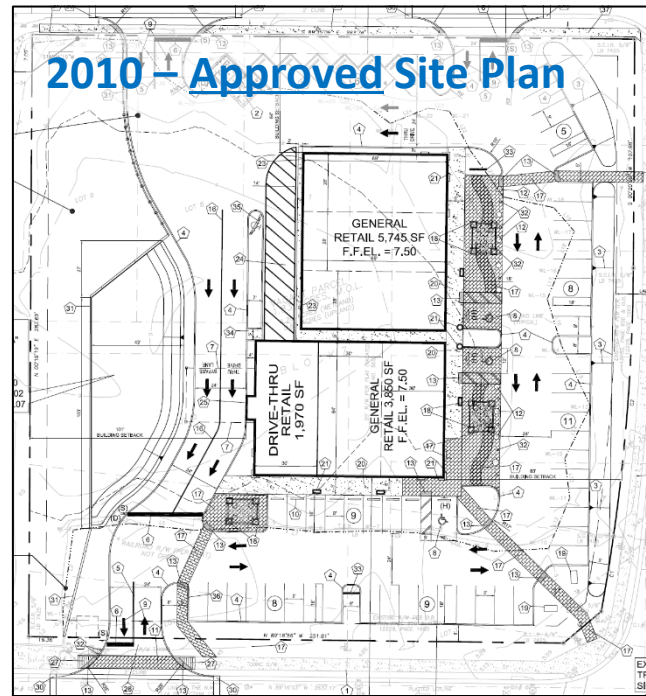
- **July 2010** – BOC approved site plan to construct a multi-tenant commercial establishment.
 - Constructed a wetland mitigation project at North Anclote River Nature Park to mitigate wetland impacts from the development.
 - Mitigation project completed in Feb. 2015, but commercial project was never built.
- **2011** – Special Area Plan & SmartCode adopted.
- **May 2020** – BOC approved a site plan for a medical/office building but was never built.





SITE HISTORY

- **Dec. 2023-2025** – A site plan was submitted (identical to the 2020 plan) and was denied by the BOC in December 2025.
 - Concerns about method of dry floodproofing, visibility at the intersection, wetland impacts, roadway access configuration, and overall compatibility with surrounding existing development.
- **Jan. 2026** – Applicant amended proposal back to a multi-tenant commercial establishment similar to original 2010 proposal, which predated SmartCode adoption. Variance application submitted to allow the larger front setbacks.



WETLAND MITIGATION PROJECT



PLANNING CONSIDERATIONS

- **South Gateway Character District**
 - Existing development predates SmartCode & reflects suburban style of development.
 - As redevelopment occurs, the area will shift to be more focused on the building form, it's relationship to the street, and be more pedestrian-oriented.
- **SmartCode Form-Based Standards**
 - Buildings situated closer to the street with parking in the rear.
 - Maximum setbacks rather than traditional minimums help to achieve this development pattern.
 - Proposed project represents the first new building in South Gateway developed under these regulations.



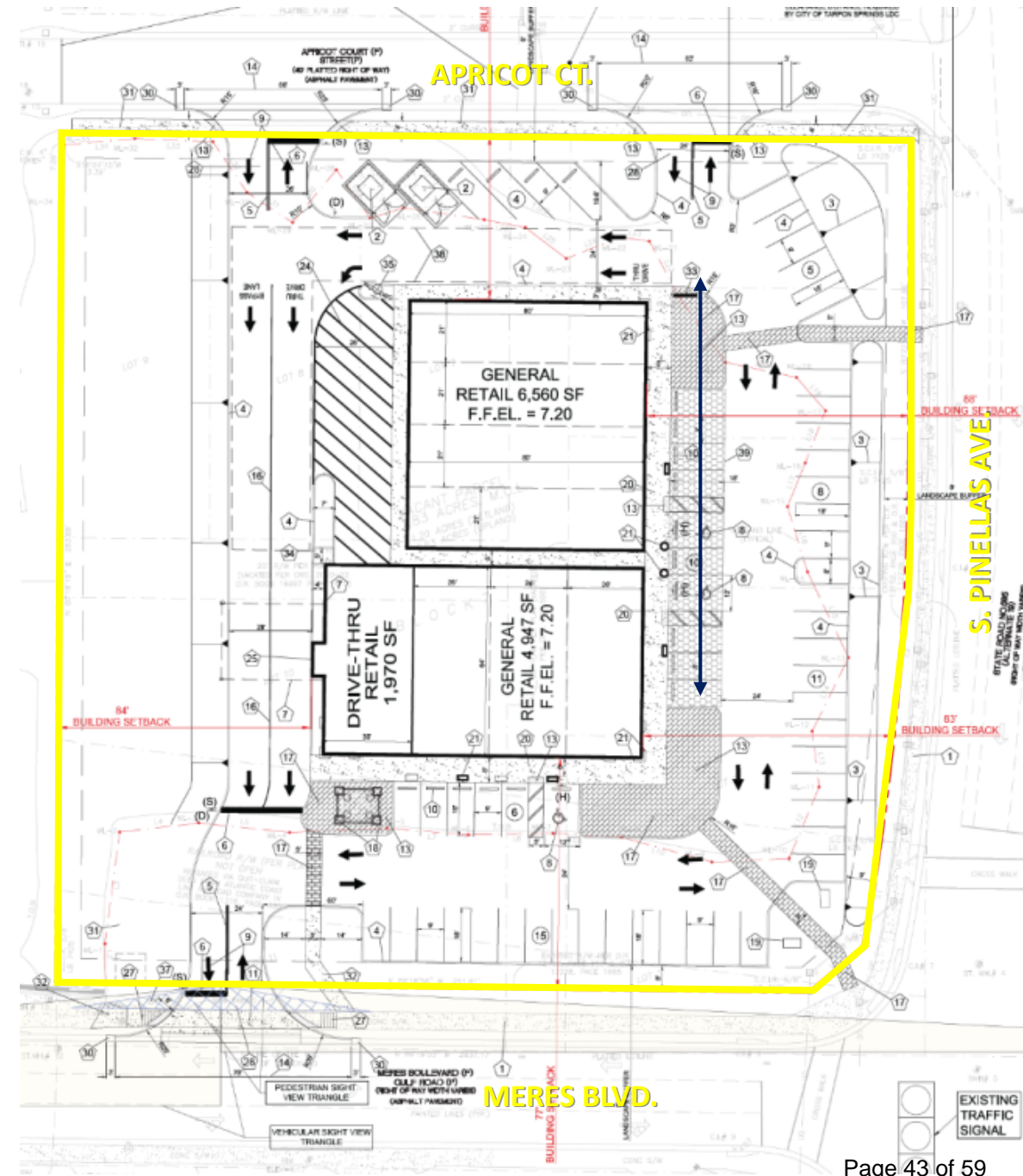
Rendering of South Gateway Character District from Special Area Plan



PLANNING CONSIDERATIONS

Parking

- Requires = 42 spaces
- Proposed = 59 spaces
- According to applicant the removal/relocation of excess parking would impact onsite circulation, create potential conflicts with the drive-through lane, and could result in an insufficient amount of parking needed to support retail uses.
- Proposed outdoor sitting areas in front of buildings and at SE corner of site, pedestrian connections to public sidewalks, and pervious pavement for a row of parking to mitigate the impacts of parking along frontage.



PLANNING CONSIDERATIONS

Process

- If variance is approved, applicant will need to seek site plan and conditional use approval (to allow the drive-through).
- New applications will be evaluated for compliance with the current 2045 Comprehensive Plan, which includes specific policies regarding wetland impacts and protection buffers, potentially impacting the proposed project.
- Previous site plans were reviewed under previous Comprehensive Plan which did not include these wetland policies.

REVIEW STANDARDS - VARIANCE

- 1) The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district.
- 2) The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant.
- 3) Literal enforcement of the requirements of the City of Tarpon Springs' Comprehensive Land Development Code would have the effect of denying the applicant or reasonable use of the property, or legally conforming buildings or other structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property.
- 4) Granting the variance will not confer any special privilege that is not allowed for other lands, buildings or structures in the same zoning district; no variance will be granted that extends to the applicant a use of a property that is not commonly enjoyed by other persons in similar circumstances.
- 5) Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by approval of the variance, alter the essential character of the neighborhood, or create a nuisance.

Variance Application Form



CITY OF TARPON SPRINGS
PLANNING & ZONING DEPARTMENT
 324 E. Pine Street, Tarpon Springs, FL 34689
 (727) 942-5611 / planning@ctsfl.us

INSTRUCTIONS

Please complete this form fully and **DOWNLOAD (print button)** to submit with the associated development application. Applications must be submitted **DIGITALLY** through the [Planning and Zoning goPost portal](#).

Project Name*	Project Location*
SHOPS AT MERES	1098 SOUTH PINELLAS AVENUE, TARPON SPRINGS, FL 33689

Variance Requested*	Summary of Request*
APPENDIX B	WE ARE APPLYING FOR REQUIRED BUILDING SETBACK
Provide the Land Development Code (LDC) Section(s) reference that the variance is being requested from.	Please describe the project and how it varies from the LDC. <i>(e.g., A side setback variance reduction from the required 10 feet to 7 feet for the purpose of constructing an addition onto an existing home)</i>

Board of Adjustment (BOA) Review Standards

Per LDC [Section 215.02\(B\)](#), the Board of Adjustment may only grant a variance when the following standards are determined to be met and proven by competent substantial evidence.

Please review each standard (numbered 1 through 5) on the following pages and provide a justification on how your request meets each standard.

Standard:

The need for the requested variance arises out of the physical surroundings, shape, topographical conditions, or other physical or environmental conditions that are unique to the specific property involved, and which do not apply generally to property located in the same zoning district. *(What are the physical hardships on the property that prevent you from meeting the requirements of the code?)*

- a. Preservation of a protected or native tree(s), but not an invasive(s), as defined in Sections [133](#) and [134](#) of the LDC, may be considered as a relevant environmental condition. *(If there are protected trees or native trees on the property, they could be considered a physical hardship if their preservation results in the need for the variance.)*
- b. Location of the property in the Historic District may be considered as a unique physical condition. However, any variance applied for within the Historic District shall be found to be compatible with the character of the properties within the Historic District before any variance may be granted. *(If the need for the variance is in response to the property being in the Historic District, it could be considered a physical hardship.)*

Justification:*

These physical constraints are further compounded by the site's limited frontage and access points, existing utility and drainage infrastructure, and required environmental protection buffers, all of which reduce the developable area of the property. Unlike other properties within the same zoning district that are more regularly shaped or have fewer environmental limitations, the subject site cannot reasonably accommodate the code-required standards without eliminating functional building area or circulation necessary for safe access and operation.

As a result, strict compliance with the zoning requirements would impose a practical difficulty on the property by preventing reasonable development in a manner consistent with surrounding uses. The requested variance is therefore necessary to relieve this hardship while still preserving the intent of the code and minimizing impacts to adjacent properties.

Standard:

The conditions or special circumstances peculiar to the property have not been self-created or have resulted from an action by the applicant or with prior knowledge or approval of the applicant. *(Is the variance in response to an action or situation in which you created? e.g. You installed a pool at the minimum setbacks, which prevents you from constructing a screen enclosure.)*

Justification:*

The conditions and special circumstances giving rise to the requested variance are inherent to the property and were not created by any action of the applicant. The site constraints result from the property's original configuration, existing environmental features, and long-standing regulatory requirements that predate the applicant's involvement with the property.

The applicant has not taken any action, nor made any improvements or alterations, that created or intensified the need for the variance. Instead, the variance request is solely in response to pre-existing physical and regulatory conditions affecting the property. Therefore, the hardship is not self-imposed and did not result from any action taken with prior knowledge or approval of the applicant.

Standard:

Literal enforcement of the requirements of the Code will have the effect of denying the applicant reasonable use of the property, or legally conforming buildings or structures, and the requested variance is the minimum variance that will make possible the reasonable use of the property. *(Does the variance result in reasonable use of the property and its structures?)*

Justification:*

Literal enforcement of the Code requirements would unreasonably restrict the use of the property by preventing development that is otherwise permitted and consistent with the zoning district. Due to the site's physical and environmental constraints, strict compliance would eliminate the ability to develop a functional and legally conforming building and site layout, effectively denying the applicant reasonable use of the property.

The requested variance represents the minimum relief necessary to allow reasonable use of the site. The variance has been carefully limited in scope to address only the specific constraint created by the site conditions and does not exceed what is required to permit a viable and code-compliant development. No additional deviations from the Code are requested beyond those necessary to accommodate these constraints.

Approval of the variance will allow the property to be developed in a reasonable manner consistent with surrounding uses, while maintaining the intent of the Code and ensuring that the site functions safely and effectively.

Standard:

Granting the variance will not confer any special privilege that is not allowed for other lands, buildings, or structures in the same zoning district; no variance will be granted that extends to the applicant a use of property that is not commonly enjoyed by other persons in similar circumstances. *(Would approval of the variance request result in special privilege that is not commonly enjoyed by other properties within the same district?)*

Justification:*

Approval of the requested building setback variance will not confer any special privilege that is not available to other properties within the same zoning district. The variance does not permit a use that is otherwise prohibited, nor does it increase density or intensity beyond what is allowed by the Code. It solely provides limited relief from a dimensional setback requirement due to unique site constraints.

Similar setback adjustments exist on nearby properties that are constrained by lot configuration, access, or environmental conditions. Granting the requested setback variance will allow the subject property to be developed in a manner comparable to other similarly situated properties, rather than placing it at a disadvantage.

The requested variance is limited in scope and is necessary only to accommodate the physical constraints of the site, ensuring equitable application of the Code while maintaining compatibility with surrounding development and preserving the overall character of the zoning district.

Standard:

Granting the variance will not substantially diminish property values in the surrounding area, substantially interfere with, or injure the rights of others whose property would be affected by the approval of the variance, alter the essential character of the neighborhood, or create a nuisance. *(Would approval of this request have an adverse effect on surrounding properties?)*

Justification:*

Approval of the requested building setback variance will not substantially diminish property values in the surrounding area, nor will it interfere with or injure the rights of adjacent property owners. The proposed setback reduction will not result in excessive building mass, height, or intensity, and the development will remain consistent with the scale and character of surrounding properties.

The variance will not alter the essential character of the neighborhood, as the proposed building placement is compatible with existing development patterns in the area, including buildings with similar setbacks. Adequate buffering, landscaping, and site design measures will be provided to minimize visual impacts and maintain compatibility with adjacent uses.

Additionally, the variance will not create a nuisance related to noise, traffic, light, or safety. The development will continue to comply with all other applicable Code requirements, ensuring that approval of the variance does not result in adverse effects on surrounding properties or the public welfare.

Electronic Signature Agreement*

By checking the "**I Agree**" box below, you agree and acknowledge that **1)** this form will not be signed in the sense of a traditional paper document, **2)** by signing in this alternate manner, you authorize your signature on this form to be valid and binding to the same force and effect as a handwritten signature, and **3)** the information included in and with this form is completely true and correct to the best of your knowledge.

I Agree

Electronic Signature*

Date*

JD.ALSABBAGH

12/19/2025

Steps to Download Form

1. Click the '**Print Only**' button below.
2. Your form will open in a new tab.
3. **Right click** on your mouse and **select 'Print'**.
4. Choose to print to '**PDF**'.
5. Save the form in your desired location.

Need help? Give the Planning Department a call at [727-942-5611](tel:727-942-5611).

Sycamore Engineering, Inc.

8370 W. Hillsborough Avenue, Suite 205
Tampa, Florida 33615
Tell: (813) 889-0700
Fax: (813) 889-0788
E-mail: greatteam@sycamoreeng.com

January 24, 2026

City of Tarpon Springs
324 East Pine Street
Tarpon Springs, FL 34689

RE: PNZ – The Shoppes at Meres - City Project 25.100
Parcel ID # 13-27-15-89946-007-0010
NW Corner S. Pinellas Ave and Meres Blvd
SEI Project # J0308

Dear Sir/Madam,

We have received your comments letter. The following are your comments followed by our response:

Fire

[Sheet 1 | Comment 00001 | B0504 C-5 SDP_SEALED_SIGNED.pdf]

A fire extinguisher will be required to be placed on site, per Tarpon Springs Municode, 135.01.
K. Woodrich, Fire Marshal 12/29/25

CITY OF TARPON SPRINGS, FLORIDA CODE OF ORDINANCES

135.01 Fire Hydrants

For one and two family residences hydrants shall be installed every 500 feet beginning at the subdivision entrance.

Hydrants in all other situations shall be installed every 300 feet beginning at the project entrance.

Response:

Acknowledge to design based on Fire Code and note has been added on site plan under General Notes.

Planning and Zoning

[Comment 00002]

Allie Keen

Please complete the General Planning Application and upload into GoPost.

Response:

Please see enclosed application.

[Sheet 1 | Comment 00003 | B0504 C-5 SDP_SEALED_SIGNED.pdf]

Allie Keen

Can you provide an explanation as to why it is necessary to have a full two rows of parking (with the driveway aisle) fronting both Meres Blvd. and Pinellas Ave.? Is there a possibility to reduce this down to only 1 row of parking and narrower drive lane?

Although the pedestrian connections are provided from the sidewalks to the building, the large setbacks take away from the pedestrian experience and the overall intent of the SmartCode.

UPDATE AFTER TRC MEETING: *Please provide a written narrative of the explanation provided at the TRC meeting that can be provided to the Board member.*

Response:

The reason the site is designed with two rows of parking and a drive aisle along both Meres Blvd & Pinellas Avenue is because that layout is what allows the site to function properly. The property direct across the street- the Flagship Bank and dinner (northeast corner of Pinellas Ave and Meres Blvd) uses the same parking layout, so this pattern already fits the character of the area and we were directed to design the current layout during the last City commissioners meeting.

For retail uses, parking demand works best when parking is grouped together and clearly visible and accessible from the street. That's how customers expect to use the site. We are required to provide 41 parking spaces based on the smart code for the proposed use and we are providing 59 spaces. If frontage parking rows is removed, we lose $15+19 = 34$ spaces which is major reduction and would leave the site without enough parking to support retail use. As you can see in updated plans that we did remove some parking spaces and proposed outside sitting area for the users/customers and also added one row of parking to be with pervious pavement.

On top of that, the site has a drive thru and by-pass lane, required fire and emergency access and carefully engineered internal circulation based on City, County and FDOT standards. If we remove frontage parking rows or narrow the drive aisle, the site no longer works as circulation breaks down, emergency access is compromised and the drive thru operation is disrupted.

We understand the intent of the Smart Code, and this plan balances that intent with the real world operational requirements of the site. There is no excess parking but it is minimum layout that allows the project to meet its parking requirement, operate safely and function as a viable retail development.

[Sheet 1 | Comment 00004 | B0504 C-5 SDP_SEALED_SIGNED.pdf]

Allie Keen

Please update the existing zoning information from GB (General Business) to T5a (S. Pinellas Ave Corridor) in the site data table.

Response:

Please see enclosed updated site plan.

[Sheet 1 | Comment 00005 | B0504 C-SDP_SEALED_SIGNED.pdf]

Allie Keen

Please update the site data table to include both the required and proposed setbacks to provide clarity to the Board members.

Response:

Please see enclosed updated site plan.

[Sheet 1 | Comment 00006 | B0504 C-5 SDP_SEALED_SIGNED.pdf]

Allie Keen

ADVISORY COMMENT – Please note, a drive-through facility requires conditional use approval in the T5a transect zone.

Response:

Acknowledged.

{ **Comment 00007** }

Allie Keen

ADVISORY COMMENT – Please note a full site plan review was not completed for this application.

Response:

Acknowledged.

[**Comment 00008**]

Allie Keen

ADVISORY COMMENT – These comments were generated for the January 8, 2026 TRC Meeting.

Response:

Acknowledged.

[**Comment 00009**]

Allie Keen

This application has tentatively been scheduled for the Wednesday, February 25, 2026, Board of Adjustment meeting. Please provide responses to all comments no later than **Friday, January 30th** in order to stay on this agenda.

Response:

Acknowledged.

[**Sheet 1 | Comment 00010 | B0504 C-5 SDP_SEALED_SIGNED.pdf**]

Allie Keen

NEW COMMENT AFTER TRC MEETING: This property is regulated by the SmartCode. The SmartCode requires 1 parking space per 1,000 sq.ft. For retail uses. Based on the proposed building size, only 42 parking spaces are required. Please update the site data table accordingly.

Currently, there are 65 spaces proposed. With the reduced parking, does this provide any flexibility in the site layout to move the building closer to the street?

Response:

Please see enclosed updated site plan. The required number of parking spaces is 41 spaces and we are proposing 59 spaces.

As explained earlier, we can't remove the additional parking spaces that are in frontage and we will lose 34 spaces which is not enough parking to support the retail use. As we have a drive thru user with general retail users, we had to separate those users and account for the parking spaces for each users. Also, if we move the building close to street, we will have empty space in the back of the buildings by the bypass & drive thru lanes which we can't use for anything and on top of that we won't be able to align the access as we currently have.

In response to SmartCode guidance and because additional parking is not preferred, we revised the first row of parking adjacent to the building by eliminating a few spaces to create an outdoor seating area (to be finished

with pavers or a similar material). The remaining parking stalls will use the pervious pavement which helps reduce the heat island effect.

We greatly appreciate your expeditious process of this request; meanwhile, if you have any questions or concerns, please do not hesitate to contact me at (813) 889-0700 or E-mail: jalsabbagh@sycamoreeng.com.

Sincerely,
Sycamore Engineering, Inc.

J D Alsabbagh

J. D. Alsabbagh, P.E.
Principal



City of Tarpon Springs, Florida

PLANNING AND ZONING DEPARTMENT
324 EAST PINE STREET
P.O. BOX 5004
TARPON SPRINGS, FLORIDA 34688-5004
(727) 938-3711

Renea Vincent, AICP, CPM
Director

December 31, 2025

J.D. Alsabbagh
Sycamore Engineering
8370 West Hillsborough Ave, Suite 205
Tampa, FL 33615

RE: Application 25-100, Request for Variance – The Shops At Meres
1098 South Pinellas Avenue; Parcel ID #13-27-15-89946-007-0010

Dear Mr. Alsabbagh:

The purpose of this letter is to inform you of challenges associated with the variance application recently submitted for the property located at the NW corner of Meres Blvd and US Alt. 19 (Pinellas Ave.). As you know, the Board of Commissioners recently denied your site plan application for this property. We acknowledge that you have the right to submit a variance application associated with a new proposed development. However, it is our responsibility to inform you that any new site plan application will be evaluated for compliance with the City's 2045 Comprehensive Plan, which includes specific policies regarding wetland impacts and wetland protection buffers which will likely make the proposed development project infeasible. The applicable objective (CON 1.4) and policies (CON 1.4.1-1.4.5) are provided below for reference.

CON 1.4: Protect and improve the function of all wetlands and areas of significant upland habitat as defined in Future Land Use Element.

CON 1.4.1: Preserve and enhance all remaining wetlands during the development review process. On-site wetland alterations that result in a net gain of wetland habitat may be permitted.

CON 1.4.2: Continue to require a minimum 30-foot aquatic lands setback through the Land Development Code regulations.

CON 1.4.3: Require a minimum 25-foot buffer zone adjoining all wetlands in the Land Development Code.

CON 1.4.4: Revise the Land Development Code acreage thresholds to require all development and redevelopment adjacent to identified wetlands and/or areas of significant upland habitat to assess natural systems/biological/wildlife impacts and evaluate alternatives to eliminate or minimize adverse impacts.

CON 1.4.5: Wetlands that are not designated as "Preservation" or "Recreation Open Space" on the Future Land Use Map require a future land use amendment to either of

J.D. Alsabbagh
December 31, 2025

these two designations prior to issuance of any construction permits for adjacent upland development.

Considering the above information, please confirm your intention to move forward with the variance application. If you have any questions, please contact the Planning Department.

Sincerely,

A handwritten signature in blue ink, appearing to read "P.L. McNeese".

Patricia L. McNeese, AICP
Planning Supervisor

cc: Renea Vincent, AICP, CPM, Planning and Zoning Director
Andrew J. Salzman, Esq, City Attorney

Sycamore Engineering, Inc.

8370 W. Hillsborough Avenue, Suite 205
Tampa, Florida 33615
Tell: (813) 889-0700
Fax: (813) 889-0788
E-mail: greatteam@sycamoreeng.com

January 18, 2026

City of Tarpon Springs
324 East Pine Street
Tarpon Springs, FL 34689

RE: The Shops at Meres - City Project 25.100
Parcel ID # 13-27-15-89946-007-0010
1098 South Pinellas Ave
SEI Project # J0308

Dear Sir/Madam,

We have received your comments letter. The following are your comments followed by our response:

Comment:

CON 1.4: Protect and improve the function of all wetlands and areas of significant upland habitat as defined in Future Land Use Element.

Response:

We acknowledge the City's goal of protecting and enhancing wetlands and significant upland habitat. The project site has an existing wetland that has been delineated and approved by the City of Tarpon Springs and applicable federal and state agencies on at least twice in the last several years. In addition, the City's Comprehensive Plan identifies the site as being within a Major Retail Node District inside the downtown limits, making it an appropriate and important location for retail development.

Consistent with that goal, the project design prioritizes avoidance, maintains all required setbacks and buffers, and incorporates compensatory mitigation only where impacts are unavoidable and permitted. The Species and Plants Study—prepared and updated multiple times over the past fifteen years following establishment of the wetland mitigation associated with the subject site and approved by applicable federal and state agencies—concludes that the on-site wetland does not provide significant habitat value.

The proposed mitigation will maintain and enhance wetland functions and values by replacing the impacted wetland with a higher-value environmental resource within the same watershed, thereby supporting the City's Comprehensive Plan objectives.

Comment:

CON 1.4.1: Preserve and enhance all remaining wetlands during the development review process. On-site wetland alterations that result in a net gain of wetland habitat may be permitted.

Response:

We acknowledge the City's intent to preserve and enhance wetlands through the development review process. The project has been designed to avoid and minimize wetland impacts to the greatest extent practicable. Where impacts are proposed/necessary, the applicant has already provided compensatory mitigation within City limits at within North Anclote River Nature Park, which is constructed and operating under USACE SAJ-2009-02970 (SP-RGH), and SWFWMD Application/Permit No.: 893272/43035342.005. This mitigation provides a measurable ecological benefit exceed loss of value plus at the Anclote River directly which will have enhanced benefit to the water quality of the watershed as additional bonus beside supports the Comprehensive Plan objective of no net loss and functional improvement.

Comment:

CON 1.4.2: Continue to require a minimum 30-foot aquatic lands setback through the Land Development Code regulations.

Response:

The Applicant acknowledges this standard. The subject property does not abut aquatic lands but an existing channel is located adjacent and outside the site. As such, the 30-foot aquatic lands setback is not triggered on the subject parcel. The project will comply with all applicable City Land Development Code requirements, including wetland buffer standards measured from the jurisdictional wetland line and any additional setbacks that apply based on site-specific conditions.

Comment:

CON 1.4.3: Require a minimum 25-foot buffer zone adjoining all wetlands in the Land Development Code.

Response:

The requested 25-foot buffer zone purpose to protect, and reduce any possible impact to the existing preserved wetland. We are proposing impact to part of the wetland but we will definitely provide the full protection to provide full protection to the existing adjacent/protected wetland.

Comment:

CON 1.4.4: Revise the Land Development Code acreage thresholds to require all development and redevelopment adjacent to identified wetlands and/or areas of significant upland habitat to assess natural systems/biological/wildlife impacts and evaluate alternatives to eliminate or minimize adverse impacts.

Response:

Acknowledged. The Applicant has evaluated, and will continue to evaluate, the project for potential significant impacts to upland habitat and wildlife. Any required natural systems, biological, and/or wildlife assessments will be prepared and submitted in accordance with applicable City review and permitting requirements.

Comment:

CON 1.4.5: Wetlands that are not designated as "Preservation" or "Recreation Open Space" on the Future Land Use Map require a future land use amendment to either of these two designations prior to issuance of any construction permits for adjacent upland development.

Response:

The Applicant acknowledges the City's intent to ensure long-term protection of wetlands. However, given that the project includes substantial on-site wetland preservation and is subject to state and federal wetland regulations, and further given that compensatory mitigation has already been provided within the City limits at an off-site location that is constructed and operational, the Applicant respectfully requests that compliance with this policy be addressed through enforceable on-site protection measures, rather than requiring a Future Land Use Map amendment as a prerequisite to permit issuance for upland development since the project site located within a major retail node at gate of the City of Tarpon Springs downtown.

We greatly appreciate your expeditious process of this request; meanwhile, if you have any questions or concerns, please do not hesitate to contact me at (813) 889-0700 or E-mail: jalsabbagh@sycamoreeng.com.

Sincerely,
Sycamore Engineering, Inc.

J D Alsabbagh

J. D. Alsabbagh, P.E.
Principal